

Monday, 23 October 2023 - 2.00 pm

AGENDA

Page Nos.

1. **APOLOGIES FOR ABSENCE**
2. **CHANGE OF MEMBERSHIP** – The Review Body are asked to note that Councillor Altany Craik has replaced Councillor Colin Davidson as a member of the Fife Planning Review Body.
3. **DECLARATIONS OF INTEREST** – In terms of Section 5 of the Code of Conduct, members of the Committee are asked to declare any interest in particular items on the agenda and the nature of the interest(s) at this stage.
4. **MINUTE** – Minute of meeting of the Fife Planning Review Body of 14 August 2023. 5 – 6
5. **APPLICATION FOR REVIEW - PRESTONVIEW, 6 VEERE PARK, CULROSS, DUNFERMLINE (APPLICATION NO. 22/03236/FULL)** – Erection of dwellinghouse with associated access and parking.
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 3. Notice of Review 26 – 112
 4. Representations 113 – 118
 5. Consultee Comments 119 – 149
 6. Further Representations 150 – 151
 7. Response to Further Representations 152 - 153
6. **APPLICATION FOR REVIEW - BELLFIELD FARM STEADING, MILTON OF BALGONIE, GLENROTHES (APPLICATION NO. 22/04032/FULL)** – Erection of four dwellinghouses (Class 9) and associated development, including formation of access and hardstanding.
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7. **APPLICATION FOR REVIEW - GOATHILL QUARRY, EASTER BUCKLYVIE, CROSSGATES, COWDENBEATH (APPLICATION NO. 22/03593/FULL)** – Erection of dwellinghouse with associated access and hardstanding
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Lindsay Thomson
Head of Legal and Democratic Services
Finance and Corporate Services
Fife House
North Street
Glenrothes
Fife, KY7 5LT

9 October 2023

If telephoning, please ask for:

Michelle McDermott, Committee Officer, Fife House, North Street, Glenrothes
Telephone: 03451 555555, ext. 442238; email: Michelle.McDermott@fife.gov.uk

Agendas and papers for all Committee meetings can be accessed on www.fife.gov.uk/committees

BLENDED MEETING NOTICE

This is a formal meeting of the Committee and the required standards of behaviour and discussion are the same as in a face to face meeting. Unless otherwise agreed, Standing Orders will apply to the proceedings and the terms of the Councillors' Code of Conduct will apply in the normal way

For those members who have joined the meeting remotely, if they need to leave the meeting for any reason, they should use the Meeting Chat to advise of this. If a member loses their connection during the meeting, they should make every effort to rejoin the meeting but, if this is not possible, the Committee Officer will note their absence for the remainder of the meeting. If a member must leave the meeting due to a declaration of interest, they should remain out of the meeting until invited back in by the Committee Officer.

If a member wishes to ask a question, speak on any item or move a motion or amendment, they should indicate this by raising their hand at the appropriate time and will then be invited to speak. Those joining remotely should use the "Raise hand" function in Teams.

All decisions taken during this meeting, will be done so by means of a Roll Call vote.

Where items are for noting or where there has been no dissent or contrary view expressed during any debate, either verbally or by the member indicating they wish to speak, the Convener will assume the matter has been agreed.

There will be a short break in proceedings after approximately 90 minutes.

Members joining remotely are reminded to have cameras switched on during meetings and mute microphones when not speaking. During any breaks or adjournments please switch cameras off.

Local Review meeting

Guidance Notes on Procedure

1. Introduction by Convener

- Convener introduces elected members and advisers; both there to advise the Review Body and not argue the officer's case; planning adviser in particular independent of the planning officer who made the decision.
- Convener advises members that photos/powerpoint are available
- Convener clarifies procedure for meeting and asks members if they have any points requiring clarification

2. Minutes of previous meeting

Review Body requested to approve minute of last meeting

3. Outline of first item - Convener

4. Powerpoint presentation of photos/images of site

Convener advises other documents, including Strategic Development/Local Plan and emerging plan(s) are there for Members to inspect if necessary, and asks members to ask Planning Adviser points of clarification on the details of the presentation.

5. Procedural agreement.

Members discuss application and decide whether –

- decision can be reached today
- if there is any new information, whether this is admissible or not in terms of the legislation
- more information required, and if so, if
- written submissions required
- site visit should be arranged (if not already happened)
- Hearing held

6. Assessment of case. Convener leads discussion through the key factors (assuming we can proceed)

Members should recall that planning decisions should be taken in accordance with the Development Plan, unless material considerations indicate otherwise. Accordingly, it is important the Members debate each point fully and explain whether they are following policy, or, if not, what material considerations lead them to depart from it. If they are taking a different view of policy from the officer who made the original decision they should make this clear.

a) Convener asks the LRB to consider

- Report of Handling and
- the applicant's Review papers

to establish the key issues pertinent to this case

- b) Detailed discussion then takes place on the key issues with specific regard to
- Strategic Development Plan
 - Local Plan
 - Emerging Plan(s)
 - Other Guidance
 - National Guidance
 - Objections

Legal/Planning Advisers respond to any questions or points of clarification from elected members

- c) Convener confirms the decision made by the LRB. At this stage if a conditional approval is chosen then additional discussion may be necessary regarding appropriate conditions

7. Summing Up by the Convener or the Legal Adviser identifying again the key decision reached by the LRB

8. Next stages Convener confirms the next stages for the benefit of the audience:

- Draft decision notice
- Agreed by Convener
- Issued to applicant and interested parties (posted on Idox)
- Approximate timescale for issuing decision. (21 days)

9. Closure of meeting or on to next item

Version 5
31.10.2017

THE FIFE COUNCIL - FIFE PLANNING REVIEW BODY – BLENDED MEETING

Committee Room 2, Fife House, North Street, Glenrothes

14 August 2023

2.00pm – 5.50pm

PRESENT: Councillors David Barratt (Convener), Fiona Corps, Alycia Hayes, Lynn Mowatt and Andrew Verrecchia.

ATTENDING: Mary McLean, Legal Services Manager, Legal and Democratic Services; Steve Iannarelli, Strategic Development Manager, Katherine Pollock, Lead Professional and Bryan Reid, Lead Professional, Planning Service.

36. DECLARATIONS OF INTEREST

Councillor David Barratt declared an interest at paras. 39 and 40 - Application for Review - Couston Farm, Burntisland (Application No. 22/00633/PPP) and Application for Review - Land to North of Main Street, Aberdour (Application No. 21/03908/FULL) - as these applications were within his Ward.

37. MINUTE

The minute of the Fife Planning Review Body of 12 June 2023 was submitted.

Decision

The Review Body approved the minute.

38. APPLICATION FOR REVIEW - 22 DUNCAN CRESCENT, DUNFERMLINE (APPLICATION NO. 22/01054/FULL)

The Review Body considered the Application for Review submitted by Poplar Design and Build Ltd., on behalf of Mr. M. Arslan, in respect of the decision to refuse planning permission for alterations to and change of use from storage building (Class 6) to shisha bar (Sui Generis) (Retrospective) (Application No. 22/01054/FULL).

Decision

The Review Body agreed:-

- (1) sufficient information was before them to proceed to decide the matter; and
- (2) the application be refused (upholding the appointed officer's determination) and that the content of the Decision Notice be delegated to the Head of Legal and Democratic Services, in consultation with the Convener.

Having declared an interest in the following items, Councillor Barratt left the meeting at this stage and Councillor Lynn Mowatt took the chair.

**39. APPLICATION FOR REVIEW - COUSTON FARM, BURNTISLAND
(APPLICATION NO. 22/00633/PPP)**

The Review Body considered the Application for Review submitted by JJF Planning on behalf of Mr. Craig Mitchell, in respect of the decision to refuse planning permission in principle for the erection of seven dwellinghouses and associated garages, access and parking and landscaping works (Application No. 22/00633/PPP).

Decision

The Review Body agreed:-

- (1) sufficient information was before them to proceed to decide the matter; and
- (2) the application be approved subject to conditions (reversing the appointed officer's determination) and that the content of the Decision Notice be delegated to the Head of Legal and Democratic Services, in consultation with the Convener.

The meeting adjourned at 3.45pm and reconvened at 4.00pm. during consideration of the above item.

Councillor Fiona Corps left the meeting during consideration of the above application and therefore did not participate further on this item.

**40. APPLICATION FOR REVIEW - LAND TO NORTH OF MAIN STREET,
ABERDOUR (APPLICATION NO. 21/03908/FULL)**

The Review Body considered the Application for Review submitted by CALA Management Ltd. in respect of the decision to refuse planning permission for the formation of hardstanding to form a ten space site car parking area and formation of vehicular access (temporary period of four years) (retrospective) (Application No. 21/03908/FULL).

Decision

The Review Body agreed:-

- (1) sufficient information was before them to proceed to decide the matter; and
- (2) the application be approved subject to conditions (reversing the appointed officer's determination) and that the content of the Decision Notice be delegated to the Head of Legal and Democratic Services, in consultation with the Convener.

Councillor Andrew Verrecchia left the meeting during consideration of the above application and therefore did not participate further on this item.

Agenda Item 5(1)

**Prestonview, 6 Veere Park, Culross,
Dunfermline**

Application No. 22/03236/FULL

Planning Decision Notice

A.S Associates Ltd.
Alison Arthur
85 High Street
Newburgh
KY14 6DA

Planning Services

Emma Baxter

development.central@fife.gov.uk

Your Ref:

Our Ref: 22/03236/FULL

Date 30th March 2023

Dear Sir/Madam

Application No: 22/03236/FULL
Proposal: Erection of dwellinghouse with associated access and parking
Address: Prestonview 6 Veere Park Culross Dunfermline Fife

Please find enclosed a copy of Fife Council's decision notice indicating refusal of your application. Reasons for this decision are given, and the accompanying notes explain how to begin the appeal or local review procedure should you wish to follow that course.

Should you require clarification of any matters in connection with this decision please get in touch with me.

Yours faithfully,

Emma Baxter, Graduate Planner, Development Management

Enc



DECISION NOTICE FULL PLANNING PERMISSION

Fife Council, in exercise of its powers under the Town and Country Planning (Scotland) Act 1997, as amended by the Planning etc. (Scotland) Act 2006 **REFUSES PLANNING PERMISSION** for the particulars specified below

Application No: 22/03236/FULL
Proposal: Erection of dwellinghouse with associated access and parking
Address: Prestonview 6 Veere Park Culross Dunfermline Fife

The plans and any other submissions which form part of this Decision notice are as shown as 'Refused' for application reference 22/03236/FULL on Fife Council's Planning Applications Online

REFUSE FOR THE FOLLOWING REASON(S):

1. In the interest of residential amenity; the requested noise impact assessment has not been submitted, thereby failing to demonstrate that there would not be a significant detrimental impact on the amenity of the proposed house from noise generated by the railway line to the south and road to the north. Furthermore, the proposed development would result in a significant detrimental impact on the amenity of the proposed house, by virtue of the constrained nature of the site, as it would be unable to provide an acceptable provision of private useable garden ground, contrary to Policy 1: Development Principles and Policy 10: Amenity of the Adopted FIFEPlan (2017) and Policy 23 of NPF4.
2. In the interests of visual amenity; the proposal would result in the overdevelopment of the site, thereby not respecting nor being in keeping with the prevailing pattern of development within the surrounding area and resulting in a significant detrimental effect on the visual amenity of the area, contrary to Policy 14: Design, Quality and Places of NPF4 and Policies 1 and 10 of the adopted FIFEplan Fife Local Development Plan (2017).
3. In the interest of flood prevention and the water environment; the proposed development would be situated within a flood risk area, contrary to Policy 22: Flood Risk and Water Management of NPF4 and Policy 1: Development Principles and Policy 12: Flooding and the Water Environment of the Adopted FIFEplan 2017.
4. In the interest of road safety; the development would be unable to provide adequate space for the manoeuvring of vehicles within the site, thereby resulting in a significant detrimental impact on existing levels of road safety, contrary to Policy 13: Sustainable Transport of NPF4 and Policy 1: Development Principles and Policy 3: Infrastructure and Services, of the adopted FIFEplan (2017).

Dated:30th March 2023

Derek Simpson

For Head of Planning Services

PLANS

The plan(s) and other submissions which form part of this decision are: -

Reference	Plan Description
01B	Location Plan/Block Plan
02	Proposed various - elevation, floor etc
04	Statement
07	Mine Risk Assessment
08	Topographic Site Plan

Dated:30th March 2023

Derek Simpson

For Head of Planning Services

Decision Notice (Page 2 of 2) Fife Council

IMPORTANT NOTES ABOUT THIS DECISION

LOCAL REVIEW

If you are not satisfied with this decision by the Council you may request a review of the decision by the Council's Local Review Body. The local review should be made in accordance with section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 by notice sent within three months of the date specified on this notice. Please note that this date cannot be extended. The appropriate forms can be found following the links at www.fife.gov.uk/planning. Completed forms should be sent to:

**Fife Council, Committee Services, Corporate Services Directorate
Fife House
North Street
Glenrothes, Fife
KY7 5LT**

or emailed to local.review@fife.gov.uk

LAND NOT CAPABLE OF BENEFICIAL USE

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Minister, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he/she may serve on the Planning Authority a purchase notice requiring the purchase of his/her interest in the land in accordance with Part V Town and Country Planning (Scotland) Act, 1997.

Agenda Item 5(2)

**Prestonview, 6 Veere Park, Culross,
Dunfermline**

Application No. 22/03236/FULL

Report of Handling

REPORT OF HANDLING
APPLICATION DETAILS

ADDRESS	Prestonview, 6 Veere Park, Culross		
PROPOSAL	Erection of dwellinghouse with associated access and parking		
DATE VALID	07/11/2022	PUBLICITY EXPIRY DATE	23/12/2022
CASE OFFICER	Emma Baxter	SITE VISIT	None
WARD	West Fife And Coastal Villages	REPORT DATE	16/03/2023

SUMMARY RECOMMENDATION

The application is recommended for:

Refusal

ASSESSMENT

Under Section 25 of the Town and Country Planning (Scotland) Act 1997, the determination of the application is to be made in accordance with the Development Plan unless material considerations indicate otherwise. Under Section 59(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, in determining the application the planning authority should have special regard to the desirability of preserving a Listed Building or its setting or any features of special architectural or historic interest which it possesses.

Under Section 25 of the Town and Country Planning (Scotland) Act 1997, the determination of the application is to be made in accordance with the Development Plan unless material considerations indicate otherwise. Under Section 59(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, in determining the application the planning authority should have special regard to the desirability of preserving a Listed Building or its setting or any features of special architectural or historic interest which it possesses.

National Planning Framework 4 was formally adopted on the 13th of February 2023 and is now part of the statutory Development Plan. NPF4 provides the national planning policy context for the assessment of all planning applications. The Chief Planner has issued a formal letter providing further guidance on the interim arrangements relating to the application and interpretation of NPF4, prior to the issuing of further guidance by Scottish Ministers.

The adopted FIFEplan LDP (2017) and associated Supplementary Guidance continue to be part of the Development Plan. The SESplan and TAYplan Strategic Development Plans and any supplementary guidance issued in connection with them cease to have effect and no longer form part of the Development Plan.

In the context of the material considerations relevant to this application there are no areas of conflict between the overarching policy provisions of the adopted NPF4 and the adopted FIFEplan LDP 2017.

1.0. Background

1.1. Description

1.1.1. The application site relates to a flat, narrow, triangular shaped area of land which was formerly part of the garden ground serving 6 Veere Park and within the Lower Valleyfield settlement boundary. The site is bounded by a Railway Line to the South, wooden fence to the west and Main Street to the North. The site is within the Lower Valleyfield Settlement but effectively lies to the South of the main road between Lower Valleyfield and Culross. Veere park forms a modern residential development of substantial semi-detached dwellings within their own grounds with 6 Veere park lying at the end of the Cul-de-Sac. To the North of the Main Street are more traditional style dwellings, with the cottage opposite the proposed site being 'B' Listed. The garden area is largely bounded by timber board fencing to a height of approximately 1.9m.

1.2. The Proposal

1.2.1. The application seeks planning permission for the erection of a dwellinghouse with associated access and parking. The long and narrow triangular shape site would site a 1.5 storey dwellinghouse with a footprint of approximately 110m². Vehicular access would be taken from the north-east corner of the site off of Main Street. The proposed dwelling would be finished with a brick base course, off-white wet dash render, brick and grey metal cladded walls and a pitched roof with dark grey interlocking roof tiles.

1.3. Planning History

- Planning permission for the erection of a dwellinghouse with garage and new access (Planning reference 06/00194/WFULL) was refused March 2016 in the interest of residential amenity in terms of privacy and garden ground provision. This decision was upheld by the reporter in October 2006.

- Planning permission in principle for erection of dwellinghouse with associated access and parking (Planning reference 15/03743/PPP) was refused March 2016 on grounds that the proposal could not respect the character, appearance and prevailing patterns of development of the adjacent townscape and would constitute overdevelopment, in addition to road safety concerns. The refusal was upheld by Fife Council's Local Review Body in August 2016 in the interest of visual amenity as the proposal would constitute overdevelopment, as well as in the interest of protecting the site from flood risk associated with surface water flooding. The recommendation for refusal on road safety grounds was not upheld.

1.4. A site visit was conducted on 24/01/2023. Further information has been collated digitally to allow the full consideration and assessment of the application. The following additional evidence was used to inform the assessment of this proposal

- Google imagery (including Google Street View and Google satellite imagery);
- GIS mapping software; and
- Site photos

2.0. Assessment

2.1. The issues to be assessed against the Development Plan and other guidance are as follows:

- Principle of development
- Residential Amenity
- Design / Visual Impact on the Setting of a Listed Building
- Road Safety
- Land Stability
- Impact on Railway Infrastructure
- Flooding and Drainage
- Low Carbon

2.2. Principle of Development

2.2.1. Policy 16 of NPF4 states that development proposals for new homes on land not allocated for housing in the LDP will only be supported in limited circumstances where:

- the proposal is supported by an agreed timescale for build-out; and
- the proposal is otherwise consistent with the plan spatial strategy and other relevant policies including local living and 20 minute neighbourhoods;
- and either:
 - delivery of sites is happening earlier than identified in the deliverable housing land pipeline. This will be determined by reference to two consecutive years of the Housing Land Audit evidencing substantial delivery earlier than pipeline timescales and that general trend being sustained; or
 - the proposal is consistent with policy on rural homes; or
 - the proposal is for smaller scale opportunities within an existing settlement boundary; or
 - the proposal is for the delivery of less than 50 affordable homes as part of a local authority supported affordable housing plan.

2.2.2. Policy 1 of the adopted FIFEplan (2017) stipulates that the principle of development will be supported if it is either (a) within a defined settlement boundary and compliant with the policies for this location; or (b) is in a location where the proposed use is supported by the Local Development Plan.

2.2.3. As the proposal is situated within the settlement envelope of Lower Valleyfield there is a presumption in favour of development. Furthermore, the proposed use would be in keeping with the surrounding area.

2.2.4. In light of the above, it is considered that in simple land use terms a residential use of the site may be acceptable subject to compliance with a range of detailed considerations which are set out below.

2.3. Residential Amenity

2.3.1. Policy 23, Part E of NPF4 states that development proposals that are likely to raise unacceptable noise issues will not be supported. The agent of change principle applies to noise sensitive development. A Noise Impact Assessment may be required where the nature of the proposal or its location suggests that significant effects are likely.

2.3.2. Policies 1 and 10 of the adopted FIFEplan states that new development is required to be implemented in a manner that ensures that existing uses and the quality of life of those in the local area are not adversely affected. PAN1/2011 sets out how noise issues generally should be handled when considering any application for planning permission. Fife Council Planning Customer Guidelines on Daylight and Sunlight (2018), Minimum Distance Between Window Openings (2016) and Making Fife's Places Supplementary Guidance (2018) also apply in this instance.

2.3.3. Letters of objection received for this application raised concerns that the proposed building would not meet Fife Council guidelines on plot ratios/garden ground.

2.3.4. 6 Veere Park is located to the west of the development site. There would be only one door facing 6 Veere Park towards its conservatory. Given this door will serve a non-habitable room (utility), the proposed development would be unlikely to result in a significant detrimental impact with regard to privacy levels within 6 Veere Park. The proposal would also not significantly impact the sunlight levels of 6 Veere Park's main amenity space. The proposed dwelling would be situated approximately 6.5 meters away and directly facing the conservatory of 6 Veere Park and would be unable to satisfy a 25-degree daylight assessment. However, given the level of daylight received by the conservatory, it is considered that there would not be a significant detrimental loss of daylight to the conservatory or 6 Veere Park as a whole as a result of the proposed development.

2.3.5. Fife Council Planning Customer Guidelines on Garden Ground (2016) recommends that new residential developments are served by garden ground which is sufficient in quality, quantity and usability to provide for the normal needs and day-to-day activities of residents, of at least 100 square meters of useable private garden ground per dwelling and new properties should incorporate a 1:3 plot ratio after allowing for both the built area plus car parking and manoeuvring areas. 6 Veere Park would be able to maintain approximately 278m² of useable garden ground in light of the proposed development. However, whilst the proposed development would be able to provide slightly over 100m² of garden ground, a 1:3 plot ratio is not achievable on the site. It is considered due to the constraints of the site, primarily its long and narrow triangular shape, that the proposed development would be unable to provide adequate useable garden ground, which would thereby result in a detrimental impact on the residential amenity of the proposed development, as well as resulting in the overdevelopment of the site.

2.3.6. Given the proximity of the site to Main Street along the northern boundary and the railway line to the south, there is potential for the proposed development to be exposed to elevated noise levels and therefore the submission of a Noise Impact Assessment (NIA) was requested. No NIA has been submitted. In the absence of a noise report, it is considered that the proposed development could be exposed to detrimental noise levels thereby having a significant detrimental impact on the amenity of residents.

2.3.7. In light of the above, it is considered that the proposed development would result in a significant detrimental impact on the residential amenity of any future occupants as a result of inadequate garden ground provision and exposure to elevated noise levels. The proposal is therefore considered contrary to Policy 1 and 10 of the Adopted FIFEplan 2017 and therefore deemed unacceptable in this regard.

2.4. Design / Visual Impact on the Setting of a Listed Building

2.4.1. NPF 4 Policy 14 applies and states that development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale. Policy 14 also stipulates development proposals will be supported where they are consistent with the six qualities of successful places:

- Healthy: Supporting the prioritisation of women's safety and improving physical and mental health;
- Pleasant: Supporting attractive natural and built spaces

- Connected: Supporting well connected networks that make moving around easy and reduce car dependency;
- Distinctive: Supporting attention to detail of local architectural styles and natural landscapes to be interpreted, literally or creatively, into designs to reinforce identity
- Sustainable: supporting the efficient use of resources that will allow people to live, play, work and stay in their area, ensuring climate resilience, and integrating nature positive, biodiversity solutions; and
- Adaptable: supporting commitment to investing in the long-term value of buildings, streets and spaces by allowing for flexibility so that they can be changed quickly to accommodate different uses as well as maintained over time.

2.4.2. Policies 1 and 10 of the adopted FIFEplan (2017) states that development will only be supported if it does not have a significant detrimental impact with respect to visual amenity. Policy 14 of FIFEplan (2017) advises that development which protects or enhances buildings or other built heritage of special architectural or historic interest will be supported. Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and Scottish Planning Policy (2014) (Valuing the Historic Environment) also apply in this instance. Further details on good design and how this should relate to its context is contained in the guidance 'Making Fife's Places Supplementary Guidance' (2018).

2.4.3. Letters of objection received for this application raised concerns that the proposal would not be visually in keeping with the surrounding area.

2.4.4 The site is constrained due to its long and narrow triangular shape, being bounded by the railway line to the south, Main Street to the north and 6 Veere Park to the west. The proposed dwellinghouse would be one and a half storeys in height, with a single storey porch extension to the front and a footprint of approximately 110 m². In addition, the proposal would be finished with a brick base course, off-white wet dash render, brick and grey metal cladded walls and a pitched roof with dark grey interlocking roof tiles.

2.4.5. In this instance, given that the proposed development would be unable to provide adequate useable garden ground and an acceptable building to plot ratio, it is considered that the proposed development fails to be in keeping with the prevailing pattern of development within the surrounding area in terms of density and massing, which is characterised by large two storey dwellings set within generous plots. As such, the proposal would result in the overdevelopment of the site, thereby resulting in a significant detrimental impact with regard to visual amenity of the surround area. Furthermore, as outline in the planning history in Section 1.3. above, applications 06/00194/WFULL and 15/03743/PPP were also previously refused on the site. During their initial considerations by Fife Council as well as during their appeals by the DPEA and the LRB respectively, it was considered that the erection of the proposed dwellinghouse on this site would be unable to respect the character and settlement pattern of the surrounding area.

2.4.6. Given the distance between the proposed development and the B listed West End Cottage (approximately 13 meters), it is considered that the proposal would not harm the setting of the listed building.

2.4.7. In light of the above, it is considered that the proposed development would be contrary to Policy 14 of NPF4 and Policy 1 and 10 of the Adopted FIFEplan 2017. The proposal is therefore deemed unacceptable in this regard.

2.5. Road Safety

2.5.1. Policy 13 of NPF 4 states development proposals will be supported where it can be demonstrated that the transport requirements generated have been considered in line with the sustainable travel and investment hierarchies and where appropriate they:

- Provide direct, easy, segregated and safe links to local facilities via walking, wheeling and cycling networks before occupation;
- Will be accessible by public transport, ideally supporting the use of existing services;
- Integrate transport modes;
- Provide low or zero-emission vehicle and cycle charging points in safe and convenient locations, in alignment with building standards;
- Supply safe, secure and convenient cycle parking to meet the needs of users and which is more conveniently located than car parking;
- Are designed to incorporate safety measures including safe crossings for walking and wheeling and reducing the number and speed of vehicles;
- Have taken into account, at the earliest stage of design, the transport needs of diverse groups including users with protected characteristics to ensure the safety, ease and needs of all users; and
- Adequately mitigate any impact on local public access routes

2.5.2. Policies 1 and 3 of the adopted FIFEplan 2017 state that development must be designed and implemented in a manner that ensures it delivers the required level of infrastructure and functions in a sustainable manner. Where necessary and appropriate as a direct consequence of the development or as a consequence of cumulative impact of development in the area, development proposals must incorporate measures to ensure that they will be served by adequate infrastructure and services. Such infrastructure and services may include local transport and safe access routes which link with existing networks, including for walking and cycling, utilising the guidance in Making Fife's Places Supplementary Guidance. Furthermore, Policy 3 states development will only be supported where it has no road safety impacts. Making Fife's Places Transportation Development Guidelines (2018) also apply.

2.5.3. Letters of representation have been received for this application which raised concerns with regard to the position of the proposed driveway and its implications with regard to road safety.

2.5.4. Access to the site would be taken from Main Street. The proposed block plan as submitted shows the provision of three off-street parking spaces in accordance with Fife Council Transportation Development Guidelines for a three-bedroom dwelling. Fife Council's

Transportation Development Management team were consulted on this application and advised that there is inadequate manoeuvring space for a vehicle situated in the parking space nearest the road within the site, so as to allow said car to be perpendicular to the rear of the public boundary when taking egress from this space, thereby ensuring safe vehicular access to/from the site. TDM therefore recommended the application for refusal.

2.5.5. Overall, the proposed development is considered contrary to NPF4 and Policy 1 and 3 of the Adopted FIFEplan 2017 and therefore deemed unacceptable in this regard.

2.6. Land Stability

2.6.1. Policies 1 and 10 of the adopted FIFEplan (2017) states that Development will only be supported if it does not have a significant detrimental impact on the amenity of existing or proposed land uses. Furthermore, development proposals must demonstrate that they will not lead to a significant detrimental impact on amenity in relation to contaminated and unstable land, with particular emphasis on the need to address potential impacts on the site and surrounding area.

2.6.2. The Land and Air Quality Team were consulted on the proposal and advised that Development Management should be notified should any unexpected materials or conditions be encountered during the development.

2.6.3. The proposal site is situated within an area defined by the Coal Authority as a Development High Risk Area. The Coal Authority were consulted on this application and advised that based on the information submitted by the applicant, they recommended the application for refusal due to lack of sufficient information and assessment of the potential risks posed to the development proposal by past coal mining activity. In light of these comments, the applicant submitted an updated coal mining risk assessment report. The Coal Authority was re-consulted and advised that they have no objections to the proposed development subject to the imposition of condition regarding the carrying out of a scheme of intrusive investigations and any remedial works/mitigation measures in addition to the submission of a signed statement confirming the site has been made safe and stable to the Local Planning Authority.

2.6.4. In light of the above, the proposal, subject to condition, would be considered acceptable in terms of land stability. This is however not considered to be a determining issue in this instance.

2.7. Impact on Railway Infrastructure

2.7.1. Policies 1 and 3 of the Adopted FIFEplan (2017) state that developments must be designed and implemented in a manner that ensures it delivers the required levels of infrastructure and functions in a sustainable manner. Accordingly, development proposals will demonstrate how they address impacts on the local road network and the railway network including capacity.

2.7.2. Given the application site is within close proximity to an active railway line to the north, Network Rail were consulted. Network Rail have no objections to the development in principle and have requested that two conditions are attached to any planning permission which include, a trespass proof fence along the southern boundary of the site if one is not already in place and

for an assessment for vehicle incursion to be carried out to ensure that there is no potential for vehicles to encroach on to the railway should they collide with the boundary fencing.

2.7.3. In light of the above, and subject to the above-mentioned conditions, the proposal would have no significant impact on the railway network and therefore complies with Policies 1 and 3 of the FIFEplan (2017) in this regard. This is however not considered to be a determining issue in this instance.

2.8 Flooding and Drainage

2.8.1. Policy 22 of NPF4 states a) Development proposals at risk of flooding or in a flood risk area will only be supported if they are for:

- essential infrastructure where the location is required for operational reasons;
- water compatible uses;
- redevelopment of an existing building or site for an equal or less vulnerable use; or.
- redevelopment of previously used sites in built up areas where the LDP has identified a need to bring these into positive use and where proposals demonstrate that long term safety and resilience can be secured in accordance with relevant SEPA advice.

Furthermore, NPF4 states that development proposals will not increase the risk of surface water flooding to others, or itself be at risk.

2.8.2. Policy 1 and 12 of the FIFEplan advises that development proposals will only be supported where they can demonstrate that they will not, individually or cumulatively increase flooding or flood risk from all sources (including surface water drainage measures) on the site or elsewhere, that they will not reduce the water conveyance and storage capacity of a functional flood plain or detrimentally impact on future options for flood management and that they will not detrimentally impact on ecological quality of the water environment, including its natural characteristics, river engineering works, or recreational use. Furthermore, there is a presumption against development within a site where flooding occurs during a 1 in 200-year (plus climate change).

2.8.3. Letters of representation received for this application raised concern with regard to potential flood risk on the site and the surrounding area.

2.8.4. There is no requirement for SuDS to mitigate run-off from a single house however a surface water management plan is required. Fife Council's Structural Services team were consulted on this application and requested the submission of a Flood Risk Assessment as well as additional information regarding surface water management. The FRA concluded that the site is at risk of low level surface water flooding and situated within a 1 in 200 year (plus climate change) coastal flood risk area. Development outwith the flood risk zone at this site would not be possible to achieve. In light of the FRA submitted by the applicant, Structural Services have recommended the application for refusal due to its non-compliance with Policy 22 of NPF4.

2.8.5. Overall, the proposed development would be situated within an area at risk of 1 in 200 year plus climate change coastal flooding, however the proposed development is not considered

to fall within any of the exception categories within Policy 22 of NPF4. Furthermore, the site is at risk of surface water flooding. As such, it is considered that the proposed development would be contrary to the above provisions of NPF4 and FIFEplan. The proposal is therefore deemed unacceptable in this regard.

2.9. Low Carbon

2.9.1. Policy 1 of NPF4 states that when considering all development proposals, significant weight will be given to the global climate and nature crises. In addition, Policy 2 states that development proposals will be sited and designed to minimise lifecycle greenhouse gas emissions as far as possible and to adapt to current and future risks from climate change. The Scottish Government advises in relation to Policy 1 and Policy 2 will be subject to further detailed advice and guidance and also the specific implications of NPF4 will be clarified through the review of Local Development Plans. As such the most appropriate policy position in relation to this issue is set out in FIFEplan Policies 1,3 and 11. Policy 1 and 11 of Fifeplan 2017 states that planning permission will only be granted for new development where it has been demonstrated, amongst other things, that low and zero carbon generating technologies will contribute to meeting the current carbon dioxide emissions reduction targets; construction materials come from local or sustainable sources; and water conservation measures are in place. Fife Council's Low Carbon Fife Supplementary Guidance (2019) notes that small and local applications will be expected to provide information on the energy efficiency measures and energy generating technologies which will be incorporated into their proposal. Applicants are expected to submit a Low Carbon Sustainability Checklist in support.

2.9.2. The applicant has submitted a low carbon sustainability checklist which states that the proposed development will implement renewable energy technology, as well as water conservation in order to meet the standards of Policy 11 with regard to energy performance.

2.9.3. In light of the above, it is considered that the proposed development accords with the above provisions of policy and guidance in relation to low carbon.

CONSULTATION RESPONSES

The Coal Authority	No objections subject to conditions
Environmental Health (Public Protection)	Further information requested
Structural Services - Flooding, Shoreline And Harbours	Application recommended for refusal
Scottish Water	No objection
Land And Air Quality, Protective Services	No objection subject to condition
Network Rail	No objection subject to conditions
Transportation And Environmental Services - Operations Team	No response
TDM, Planning Services	Recommended refusal

REPRESENTATIONS

Four letters of representation have been received for this application which raised the below concerns

Road safety - This has been addressed in paragraph 2.5.4. above

Flood risk - This has been addressed in paragraph 2.8.4. above

Provision of bin storage - The applicant has completed a Low Carbon Sustainability Checklist which advises that the proposal will comply with Fife Council's requirements for the storage and collection of landfill waste, food waste and dry recyclables.

Design / layout - This has been addressed in section 2.4 above

CONCLUSION

The development is contrary to the provisions of policy and guidance relating to residential amenity, visual amenity, road safety and flooding/drainage. Overall, it is considered that the proposed development is contrary to the development plan, with no relevant material considerations of sufficient weight to justify departing therefrom. The application is therefore recommended for refusal.

DETAILED RECOMMENDATION

The application be refused for the following reason(s)

1. In the interest of residential amenity; the requested noise impact assessment has not been submitted, thereby failing to demonstrate that there would not be a significant detrimental impact on the amenity of the proposed house from noise generated by the railway line to the south and road to the north. Furthermore, the proposed development would result in a significant detrimental impact on the amenity of the proposed house, by virtue of the constrained nature of the site, as it would be unable to provide an acceptable provision of private useable garden ground, contrary to Policy 1: Development Principles and Policy 10: Amenity of the Adopted FIFEPlan (2017) and Policy 23 of NPF4.
2. In the interests of visual amenity; the proposal would result in the overdevelopment of the site, thereby not respecting nor being in keeping with the prevailing pattern of development within the surrounding area and resulting in a significant detrimental effect on the visual amenity of the area, contrary to Policy 14: Design, Quality and Places of NPF4 and Policies 1 and 10 of the adopted FIFEplan Fife Local Development Plan (2017).
3. In the interest of flood prevention and the water environment; the proposed development would be situated within a flood risk area, contrary to Policy 22: Flood Risk and Water

Management of NPF4 and Policy 1: Development Principles and Policy 12: Flooding and the Water Environment of the Adopted FIFEplan 2017.

4. In the interest of road safety; the development would be unable to provide adequate space for the manoeuvring of vehicles within the site, thereby resulting in a significant detrimental impact on existing levels of road safety, contrary to Policy 13: Sustainable Transport of NPF4 and Policy 1: Development Principles and Policy 3: Infrastructure and Services, of the adopted FIFEplan (2017).

STATUTORY POLICIES, GUIDANCE & BACKGROUND PAPERS

Development Plan:

Adopted FIFEplan (2017)
National Planning Framework 4 (2023)

Making Fife's Places Supplementary Guidance (2018)

Other Guidance:

Fife Council Planning Customer Guidelines on Garden Ground (2016)

Fife Council Planning Customer Guidelines on Minimum Distance Between Window Openings (2016)

Fife Council Planning Customer Guidelines on Daylight and Sunlight (2018)

Agenda Item 5(3)

**Prestonview, 6 Veere Park, Culross,
Dunfermline**

Application No. 22/03236/FULL

Notice of Review



Fife House North Street Glenrothes KY7 5LT Email: development.central@fife.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100632525-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	A.S Associates ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	Alison	Building Name:	<input type="text"/>
Last Name: *	Arthur	Building Number:	85
Telephone Number: *	01337 840 088	Address 1 (Street): *	High Street
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Newburgh
Fax Number:	<input type="text"/>	Country: *	Fife
		Postcode: *	KY14 6DA
Email Address: *	info@asassociatesltd.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Paul"/>	Building Number:	<input type="text" value="13"/>
Last Name: *	<input type="text" value="Clarke"/>	Address 1 (Street): *	<input type="text" value="Baird Road"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Armadale"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="West Lothian"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="EH48 3NS"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="info@asassociatesltd.co.uk"/>		

Site Address Details

Planning Authority:	<input type="text" value="Fife Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text"/>
Post Code:	<input type="text"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="686147"/>	Easting	<input type="text" value="299497"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of dwellinghouse with associated access and parking.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to separate Statement of Reasons for Seeking Review.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Location and Block Plan, Proposed Plans and Elevations, Site Plan_Turning Manoeuvres, Coal Report, Coal Mining Risk Assessment, Flood Risk Assessment, Topographical Survey, Topographical Survey Photo Presentation, Sustainability Checklist, Statement of Reasons for Seeking Review.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/03236/FULL

What date was the application submitted to the planning authority? *

07/11/2022

What date was the decision issued by the planning authority? *

30/03/2023

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs Alison Arthur

Declaration Date: 17/06/2023



85 High Street
Newburgh. KY14 6DA

Tel: 01337 840088

www.asassociatesltd.co.uk/
info@asassociatesltd.co.uk

Fife Planning Review Body

Statement of Reasons for Seeking Review

Application 22/03236/FULL

Erection of dwellinghouse with associated access and parking

Land to east of Prestonview, 6 Veere Park, Culross



Introduction

This statement is prepared on behalf of the applicant, Mr Paul Clarke, who is seeking approval of his proposal for the erection of a dwellinghouse with associated access and parking on land to the east of Prestonview, 6 Veere Park, Culross. Mr Clarke has purchased this land, with the aim of building a new home designed to suit the retiral needs of his wife and himself.

Mr Clarke seeks the members of the Fife Planning Review Body to fully consider the following response to the reasons for refusal and to reach a conclusion that, **on balance, it is reasonable to approve this proposal.**

Background

The application proposes the erection of a small cottage style (single storey and attic) dwellinghouse on an area of unused land at the west end of Low Valleyfield, to the south side of Main Street—within the settlement boundary.

The land will benefit from development, with the opportunity to enhance the streetscene. Otherwise, this area of land will be an unattractive, unmaintained plot, highly visible on the approach to, and leaving, Low Valleyfield.

The site is not within a Conservation Area and the surrounding area is residential, with a mix of traditional, mainly, and modern dwellings. There is a 30mph limit on Main Street as it passes the site.

Properties along Main Street generally have their frontage facing the street, and many have either small front gardens or no garden ground to the front, with either low boundary walls or none. A modern cul de sac of large dwellings (Veere Park) lies adjacent to the west of the site, with its properties out of character with the surrounding area—large detached properties, without frontages on to Main Street and with high roadside fencing.

The railway line lying to the south of the site served Longannet and since the closure of the power station is now disused.

The Report of Handling indicates that the application was assessed in relation to eight issues and found to be acceptable in terms of the Principle of Development, Visual Impact on the Setting of a Listed Building, Land Stability and compliance with the requirements of the Low Carbon Checklist.

The assessment raised concerns with Residential Amenity, Design, Road Safety, and Flooding and Drainage and these issues were included in the four Reasons for Refusal.

We believe that an overly rigid approach has been taken to the assessment of this application, without a balanced consideration of the various issues. The aims and intention of the policies have been given less consideration than their detailed terms—often aimed at larger scale, multi property developments—and **not necessarily applicable to a small scale single house proposal making use of unused land within a settlement boundary.**

A response to the issues raised by the Reasons for Refusal reasons is submitted below.

With respect, Mr Clarke seeks the members of the Fife Planning Review Body to consider the points made and to conclude that, on balance, the proposal merits approval.

Proposal

The application proposes the erection of a small cottage style (single storey and attic) dwellinghouse on an area of unused land at the west end of Low Valleyfield, to the south side of Main Street—within the settlement boundary.



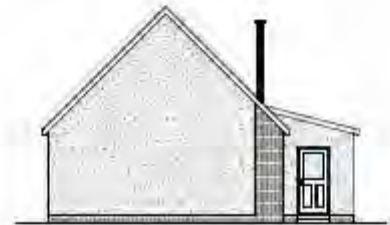
Extracts from submitted Site Plan and Elevations.

The proposal is a modest cottage style house, located on unused land within a residential area of Low Valleyfield. It fronts Main Street, **reflecting the character of housing along the roadside, in terms of its scale and layout.**

Veere Park, to the W, is a modern development of large houses in a cul-de-sac layout, without frontage to Main Street, and does **not** reflect the overall character of housing in the area.



North West Elevation



South West Elevation



South East Elevation



North East Elevation



THIS DRAWING HAS BEEN PREPARED TO OBTAIN STATUTORY LOCAL AUTHORITY CONSENT. ALL SIZES TO BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK. DO NOT SCALE FOR CONSTRUCTION PURPOSES.



A.S. ASSOCIATES

E: INFO@ASASSOCIATESLTD.CO.UK T: 01337 840088
A: 85 HIGH STREET, NEWBURGH, KY14 6DA

PROJECT:

Mr Clarke,
Land to the East of 6 Veere Park,
Culross,
KY12 8TF

Response to Reasons for Refusal—Residential Amenity

Sufficient Garden Ground

The submitted site plan demonstrates that the proposal can meet with the Council's Planning Customer Guidelines on Garden Ground (2016). The Guidelines **indicate that 100 square metres of usable garden is required for a detached house.**

The proposal includes 136 sqm of garden ground (excluding the parking/turning/driveway) and is appropriately located to provide usable outside space:

There is an area of approximately 60sqm to the north side (frontage) of the proposed house and parking, providing a space of between 1—3m width, to the rear of the grassed footway. **This is ideal in providing an active frontage with garden area, and closely relates to the character of many of the traditional cottages on Main Street**, located close to the roadside and with small front gardens.

There is an area of approx. 40sqm of potential garden to the north east end of the site, beyond the access and car parking. This is shown, indicatively only, as lawn on the submitted site plan, but could provide for a **sizeable and interesting planting area that would enhance this roadside area and the approach to and from Low Valleyfield.**

There is an area of approximately 60sqm to the south side (rear) of the proposed house, with this being suitable for everyday activities—a planting area, patio or hanging out washing. This is well located for sun and appropriate to the needs of Mr and Mrs Clarke in their retirement. We have shown, below, that the space is sufficient to accommodate normal garden activities.

A recommended size for a patio with small table and 2 chairs is approximately 2m x 2m, (4sqm) with a patio of 3m x 3m (9sqm) accommodating a table and chairs for 4—6 people. A rotary clothes dryer and surrounding movement space occupies a space of approximately 2m x 2m (4sqm).

A greenhouse can be accommodated on a space of approx. 2m x 1.5m (3 sqm)

A typical size for a raised bed for vegetable growing, as promoted by the popular 'square foot gardening system' is 4 feet square, i.e. is 1.2m x 1.2m (1.44 sqm)

The Report of Handling states that the garden ground is constrained by its '*long and narrow triangular shape*' and would be '*unable to provide adequate useable garden ground*'. The assessment assumes that the shape of the garden ground, not being the standard rectangle of many new builds, prohibits it from being useful - without any detailed analysis of why this is the case.

The principles of the Council's Planning Guidelines on Garden Ground state '*Gardens should fit the needs of the people who live there; they should not be too large or too small. We must remember that land is an important natural resource and we must use it carefully.*'

We contend that the site can provide wholly usable and acceptable outside space to meet the needs of the applicant and his wife, and any future occupiers. It provides ample space, is well located around the house, including a private and south facing space to the rear.

Response to Reasons for Refusal—Residential Amenity

Plot Ratio

The Garden Ground Planning Customer Guideline is clear that there is **considerable flexibility** in applying this standard, to take account of specific circumstances. It refers to '*building on an infill site in an established residential area*' and includes that **reduced plot ratio can be acceptable**, including where land is unused or the proposal will improve the local area.

The plot ratio may fall short of the standard of 1:3, as stated in the Guidelines. However, the intent of this ratio is to set a 'building to garden' standard that can be most usefully applied to larger scale multi house developments. **This proposal is an individual case, utilising unused land within an existing housing area. Without development this land will be unmaintained and an unattractive roadside area in Low Valleyfield.**

Noise Impact

The rail line to the south of the site is disused, having previously served Longannet power station before it closed.

The road to the north of the site has a 30mph speed limit and is not a 'main' or busy road, despite the historic name 'Main Street'. The road is lined with dwellinghouses along its length through Low Valleyfield.

In any case, the site is within an existing residential area, with any road noise being the normal situation experienced by other residents. This proposal for a new build allows the opportunity for construction to the most up to date standards, e.g. in terms of glazing and therefore occupants will be able to use various mitigations should these be needed—achieving less exposure to any noise impact than existing residents in the area.

We note that the Planning Review Body, in assessing the earlier application for the site, found that issues relating to noise were adequately dealt with in the Report of Handling. This concluded that noise was not a particular issue (with the rail line operating at that time) and that '*a dwelling could be designed to be acceptable with regards to noise and it would be unreasonable to refuse the application due to noise.*'

We believe that the above points confirm that the proposal can comply with FIFEplan Policy 1: Development Principles in terms of amenity issues, Policy 10: Amenity and NPF4 Policy 23 Health and Safety.

Impact on neighbouring property at 6 Veere Park

The proposal will have no detrimental impact on the neighbouring property to the west, 6 Veere Park, in terms of loss of daylight or sunlight or loss of privacy. **The Report of Handling agrees that there will be no detriment.**

Response to Reasons for Refusal—Road Safety

Safe vehicle access to/from site

The proposal includes three parking spaces, as required by the Council's Transportation Development Guidelines for a three bedroom house.

These parking spaces are shown on the submitted drawing (extracts on following page), with an illustration of the simple manoeuvres needed to enter and leave the site in a forward gear.

No issue has been raised with the location of the access. The Fife Planning Review Body, in assessing the earlier application, and having visited the site, **agreed that that 'the application was acceptable from a road safety perspective.'** (The FPRB were assessing an alternative access that had been proposed at that time—the same as now submitted).

The Report of Handling states that Transportation Development Management's (TDM) consultation response advised that there is not adequate manoeuvring space for a vehicle in the parking spaces nearest the road, to enable it to '*be perpendicular to the rear of the public boundary when taking egress from the site*'. TDM's comments were in response to the originally submitted Block Plan that did not show manoeuvres. **We understand that the additional drawings, prepared and submitted to illustrate the manoeuvres, had not been reviewed by TDM prior to the decision.**

We note that there are many properties on Main Street where vehicles do not enter/leave their parking in a forward gear. This proposal does not add to this existing situation.

We believe that the above points clearly demonstrates that the proposal **in terms of road safety, complies with FIFEplan Policy 1: Development Principles, Policy 3: Infrastructure and Services and NPF4 Policy 13: Sustainable Transport.**

With respect we seek that the FPRB conclude that it is **reasonable**, to determine that road safety is **not a reason** for refusal.

Detail shows that a vehicle can enter the site from both the west and east in forward gear, and egress in a forward gear—from a position perpendicular to the public road.



Turning Manoeuvre West



Turning Manoeuvre East

Not to scale

REVISION	INT	DATE
THIS DRAWING HAS BEEN PREPARED TO OBTAIN STATUTORY LOCAL AUTHORITY CONSENT. ALL SIZES TO BE CONFIRMED ON SITE PRIOR TO COMMENCING WORK. DO NOT SCALE FOR CONSTRUCTION PURPOSES.		
 A.S. ASSOCIATES E: INFO@ASASSOCIATES.LTD.CO.UK T: 01337 640088 A: 85 HIGH STREET, NEWBURGH, KY14 6DA		
PROJECT: Mr Clarke, Land to the East of 6 Veere Park, Culross, KY12 8TF		
TITLE: Turning Manoeuvres		
REVISION THIS DRAWING HAS BEEN PR		

Response to Reasons for Refusal—Flooding and Drainage

Flood Risk

A Flood Risk Assessment (FRA) has been provided by the applicant as the site has been shown to be within an area at risk of surface water and coastal flooding. The site lies **outwith the 1 in 200 year flood extent of the Forth, but is within when assessing the proposal in terms of the '1 in 200 year plus climate change' scenario**—where the modelling shows that much of the surrounding area of Culross/Low Valleyfield would be flooded.

The FRA recommends that the finished floor level (FFL) of the house should be raised a minimum of 0.6m above the 1 in 200 year (plus climate change) water level, giving a FFL of 6.02m AOD. In this scenario, the proposed house would be **flood free should an event occur**, whereas much of coastal Low Valleyfield and Culross would be flooded.

The Report of Handling notes that the Council's Structural Services indicate that the application does not comply with NPF4 Policy 22 Flood risk and water management. The policy intent of NPF4 Policy 22 is to *'strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding.'* The policy provides support, in some circumstances, for development on sites at risk of flooding, *'where flood risk is managed at the site rather than avoided'* The policy direction is that avoidance is the first principle but that development in areas at risk of flooding can be considered more flexibly, taking into account options to manage the risk.

The proposal can be considered to fall within the exception categories in NPF4: it is previously used land where the principle of development is accepted (in terms of FIFEplan) and where development will bring the land into positive use. It can be demonstrated that the long term safety and resilience of the site can be secured. In this case, **where flood risk is managed rather than avoided**, the policy criteria requires floor levels above flood risk; and that safe access/egress can be achieved. **These criteria can be met.**

This proposed house will be designed for future flood events. The properties in the surrounding area are not—and therefore this proposal is at far less risk than any of its neighbours.

We believe that the above points clearly demonstrate that the proposal **in terms of flood risk, complies with** FIFEplan Policy 1: Development Principles, Policy 12: Flooding and the Water Environment and NPF4 Policy 22: Flood risk and water management.

With respect we seek that the FPRB conclude that it is **reasonable**, to determine that flood risk is **not a reason** for refusal.

Response to Reasons for Refusal—Visual Amenity

Pattern of Development in Surrounding Area

Main Street runs the length of Low Valleyfield, a traditional streetscene characterised by its mix of properties, single storey cottages ranging through to two storey properties. These are predominantly traditional buildings: detached, semi-detached and terraced, mainly fronting the road to its north side. There are only a few traditional, and modern, properties set back from the road. The scale of properties within their plots is very varied: including several large houses on small plots.

The modern housing development to the west of the site, Veere Park, is formed around a cul-de-sac and has quite a different character to housing in general on Main Street, being all large detached properties, without frontages to the road.

Viewed towards the west on Main Street, the application site lies in the foreground of Veere Park (with two houses in view). The blank side gable of 6 Veere Park, neighbouring the application site, is particularly prominent. **The development of the application site with a single storey house, fronting the road and with space for planting at its east end, and along the frontage, would considerably soften and enhance the appearance of this approach to Veere Park.**



Viewed towards the east on Main Street, the application site lies within the view of the houses on the north side of the road, with cottages to two storey properties opposite, fronting the footway or further east, with small front gardens. **The proposed house will be appropriate in relation to the character of Main Street—a single storey house, fronting the road.**



Response to Reasons for Refusal—Visual Amenity

Pattern of Development in Surrounding Area

The Report of Handling states that *'the proposed development fails to be in keeping with the prevailing pattern of development within the surrounding area in terms of density and massing, which is characterised by large two storey dwellings set within generous plots. As such, the proposal would result in the overdevelopment of the site...'* We **dispute this assessment** of the surrounding area. It appears that the assessment has been made on the basis of the adjacent Veere Park which are undeniably large two storey dwellings but these do not all sit on generous plots. Also, the application site is not viewed in the context of the overall cul-de-sac of Veere Park (with only two houses in the same view as the site).

The assessment **fails to recognise that the surrounding area also includes Main Street, to the east, characterised by a mix of housing, mainly fronting the road.** The decision notice for the FPRB, when considering the earlier application for the site, states that the FPRB visited the site and *'noted that, beyond Veere Park, the character of the settlement was varied with no identifiable style or plot size prevalent'* and also that *'they also noted examples of large contemporary houses built on relatively small plots.'*

We strongly contend that the proposal will be an **appropriate addition to the surrounding area, with a positive impact on visual amenity**, particularly in terms of enhancing the approach to Veere Park from the east.

We believe that the above points clearly demonstrate that the proposal **in terms of visual amenity, complies with** FIFEplan Policy 1: Development Principles, Policy 10: Amenity and NPF4 Policy 14 : Design, quality and place.

With respect we seek that the FPRB conclude that it is **reasonable**, to determine that visual amenity is **not a reason** for refusal.

Conclusion

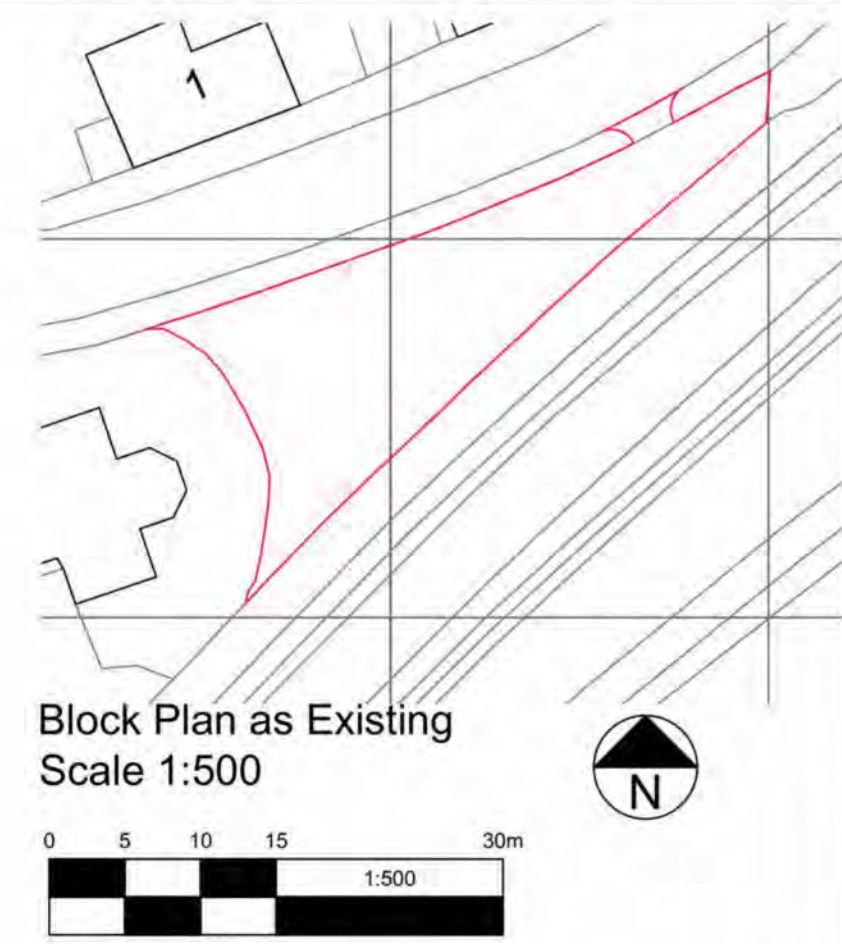
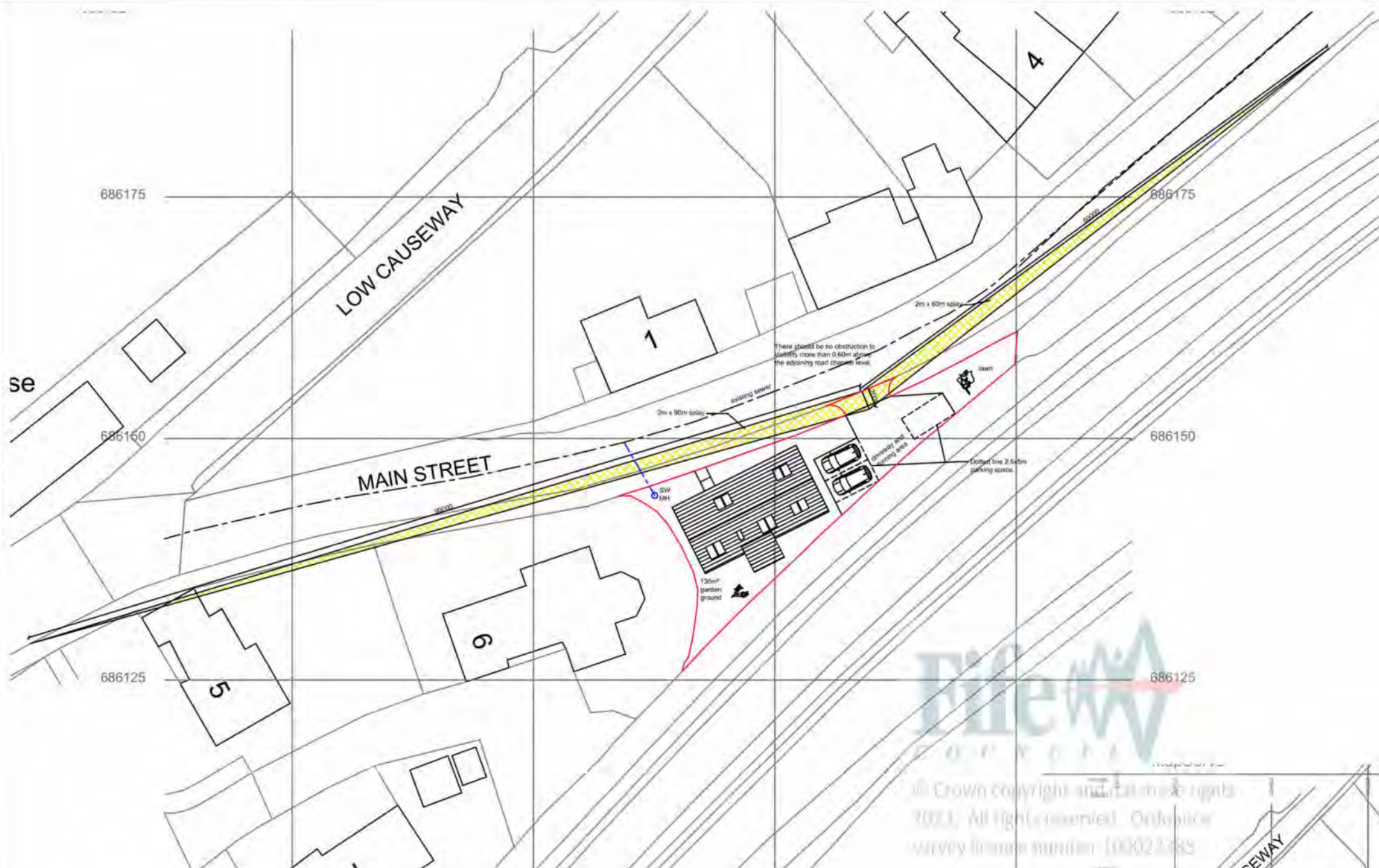
Mr and Mrs Clarke are seeking to build a modest home on this plot on Main Street, to suit their needs for retirement.

The principle of developing a house on the plot is accepted by FIFEplan Policy 1: Development Principles, being land within the settlement boundary of Low Valleyfield.

The proposal for a new house makes good use of unused land that is not maintained, enhancing the visual amenity of the site, and the east approach to Veere Park.

We contend that the issues of road safety, flooding and amenity can, when considered **on balance** have been shown to be satisfactorily addressed, and do not merit being reasons to refuse the application.

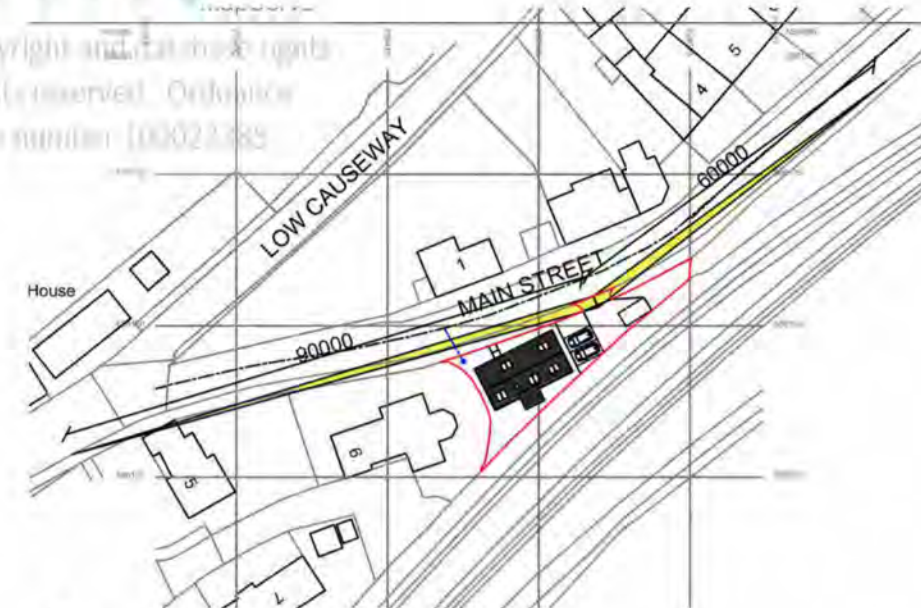
With respect, Mr Clarke seeks the Fife Planning Review Body's approval of this application.



Block Plan as Proposed
Scale 1:500

Site	371m ²
House Footprint	109m ²
Garden Ground	136m ²
Parking & Turning area	88.5m ²
Lawn Area	37.5m ²

FileW
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Location Plan as Proposed
Scale 1:1250

Rev. D - Block Plan	GP	28/02/23
Rev. C - Block Plan	GP	23/02/23
Rev. B - Block Plan	GP	19/01/23
Rev. A - SW added	GP	26/10/22
REVISION	INT	DATE

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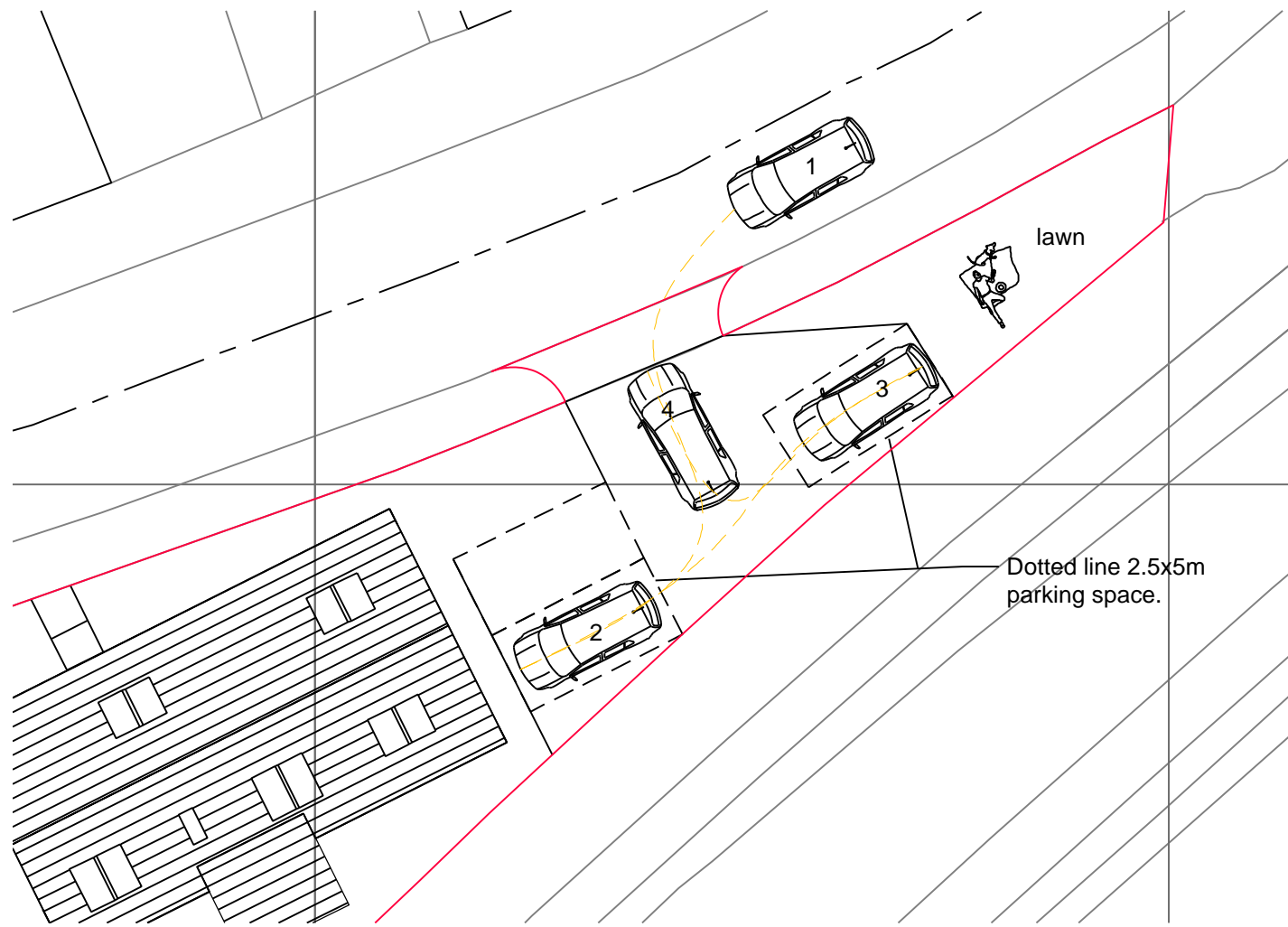
A.S. ASSOCIATES

E: INFO@ASASSOCIATESLTD.CO.UK T: 01337 840088
 A: 85 HIGH STREET, NEWBURGH, KY14 6DA

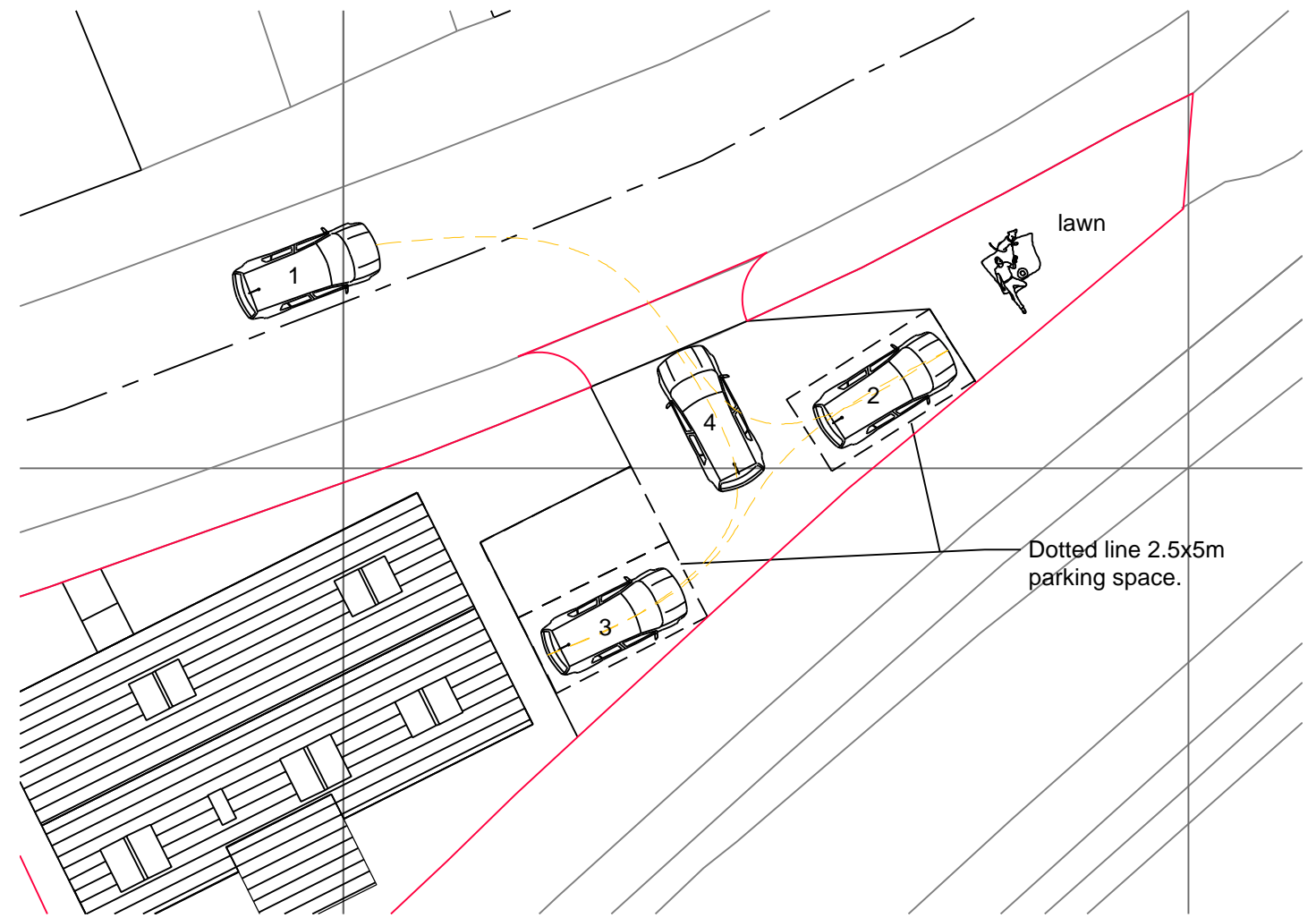
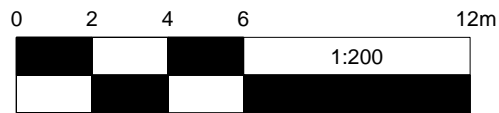
PROJECT:
 Mr Clarke,
 Land to the East of 6 Veere Park,
 Culross,
 KY12 8TF

TITLE:
 Location and Block Plans

DRAWN BY: GP	SCALE(S): 1:1250 :200	SHEET: A3
DATE: 08/09/22	PROJECT NO: 3316-PP-002	REV: C



Turning Manoeuvre West
Scale 1:200



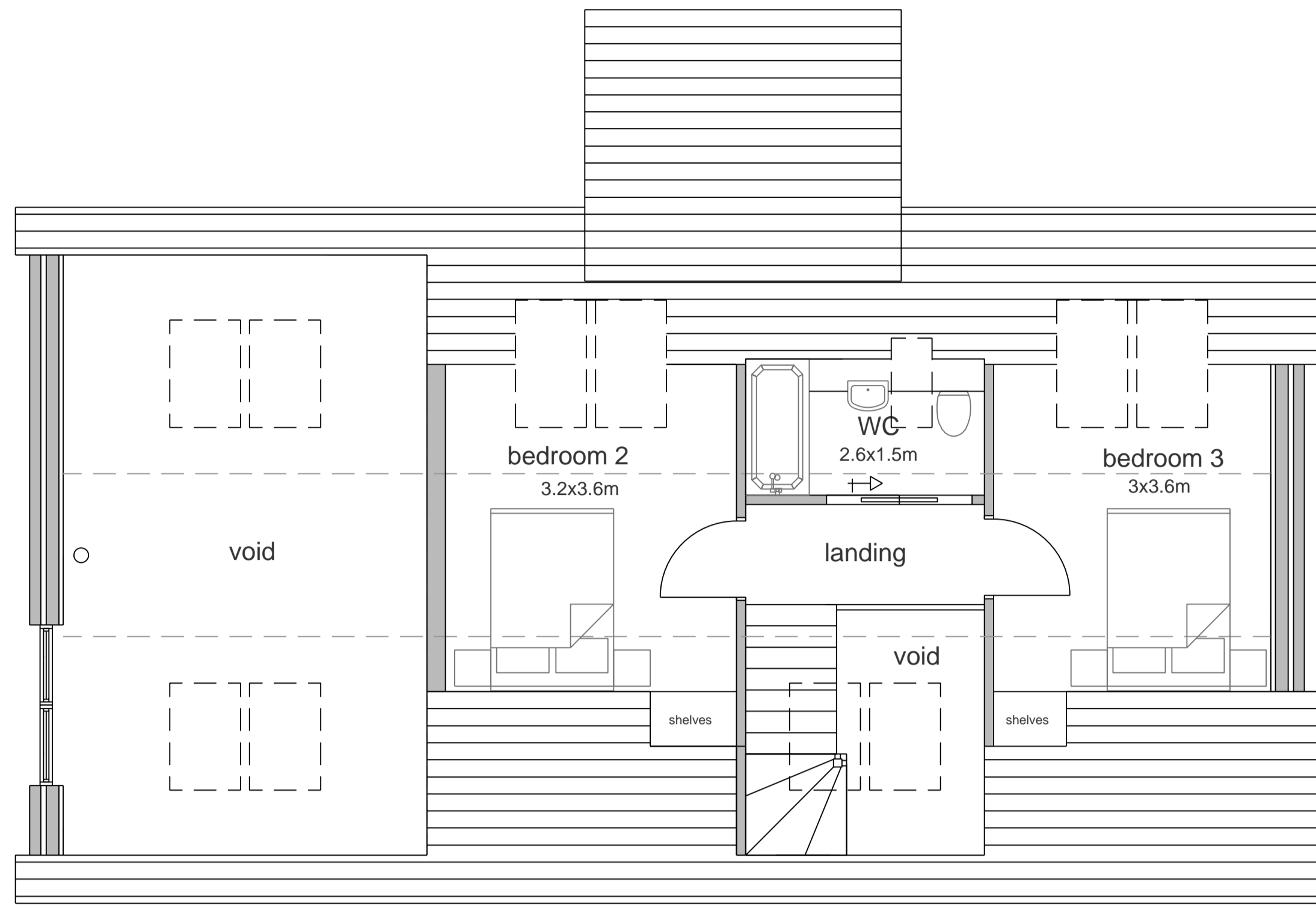
Turning Manoeuvre East
Scale 1:200



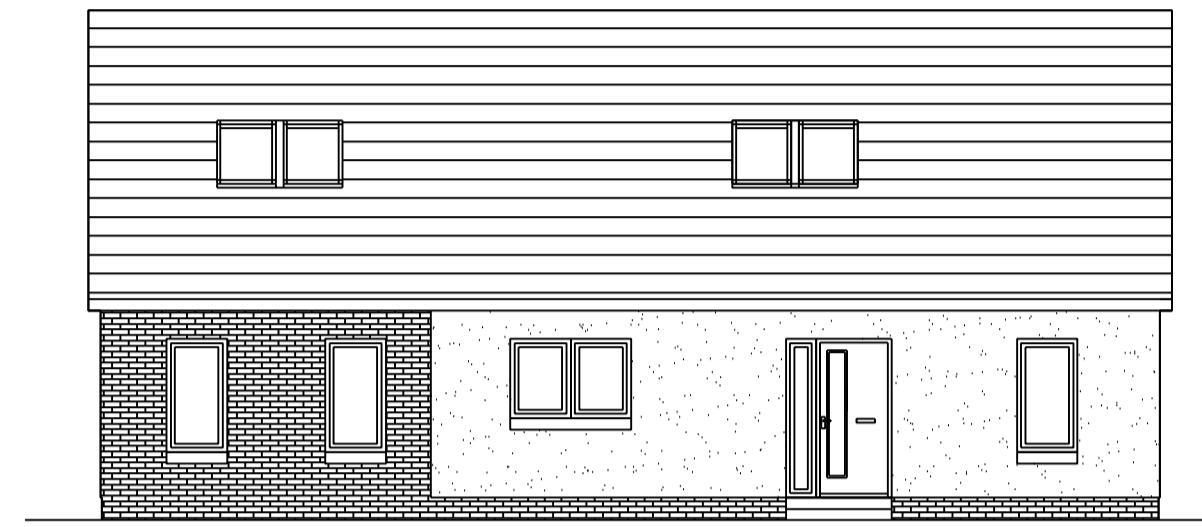
REVISION	INT	DATE
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 A.S. ASSOCIATES <small>E: INFO@ASASSOCIATESLTD.CO.UK T: 01337 840088 A: 85 HIGH STREET, NEWBURGH, KY14 6DA</small>		
PROJECT: Mr Clarke, Land to the East of 6 Veere Park, Culross, KY12 8TF		
TITLE: Turning Manoeuvres		
DRAWN BY: GP	SCALE(S): 1:200	SHEET: A3
DATE: 28/02/23	PROJECT NO.: 3316-PP-004	REV:



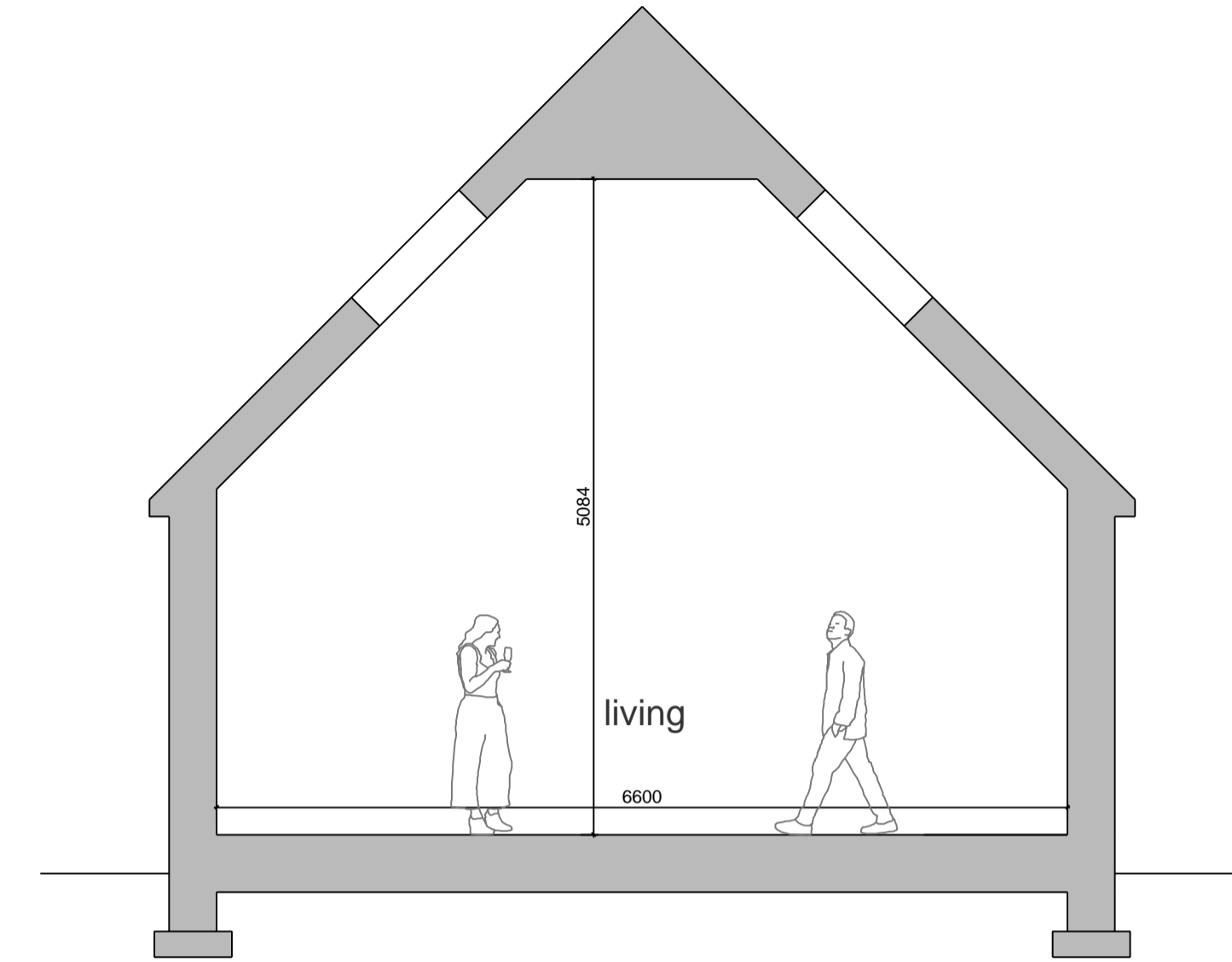
EXTERNAL FINISHES
 Dark grey interlocking roof tiles.
 Facing brick base course.
 Off white wet dash on render, facing brick and grey metal cladding to walls.
 UPVC fascia and bargeboard.
 UPVC windows.
 Black UPVC gutters and downpipes.



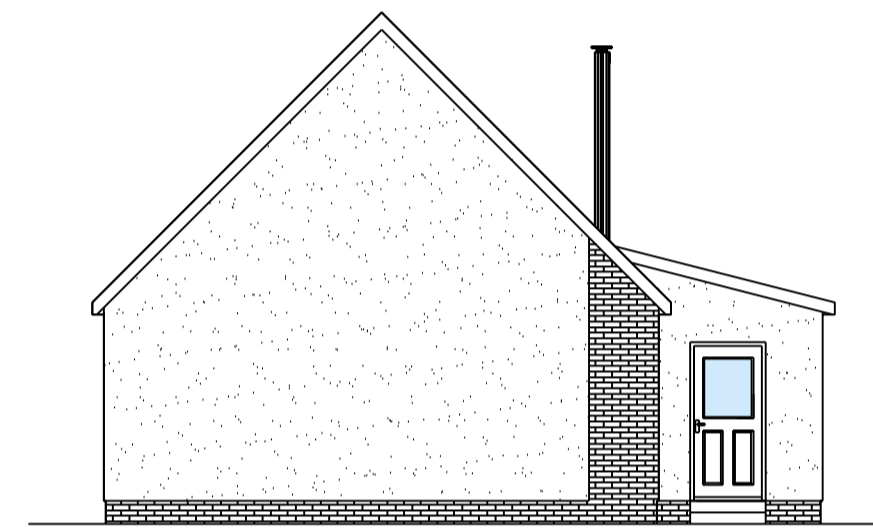
First Floor Plan
 Scale 1:50
 30m²



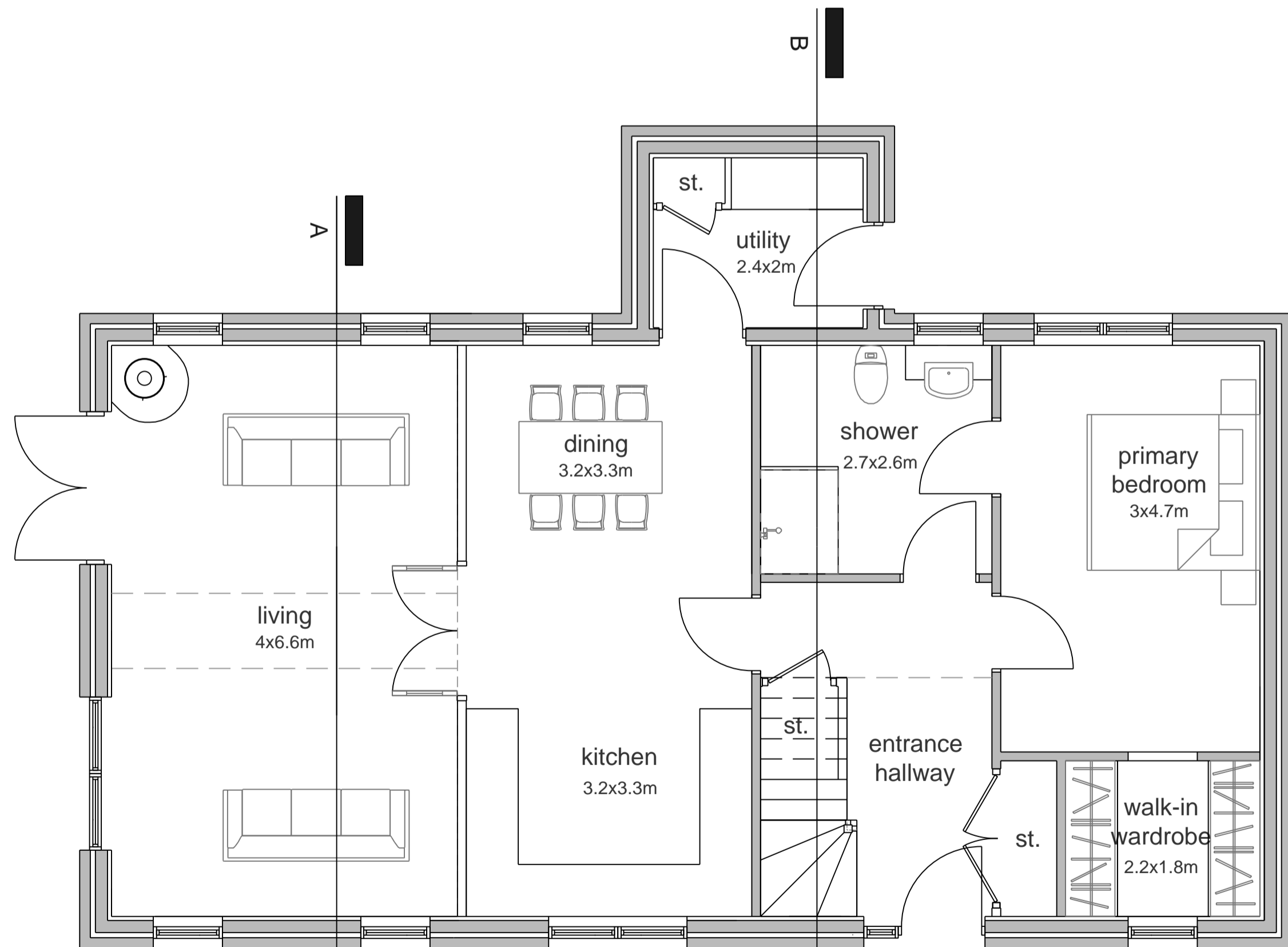
North West Elevation
 Scale 1:100



Section A-A
 Scale 1:50



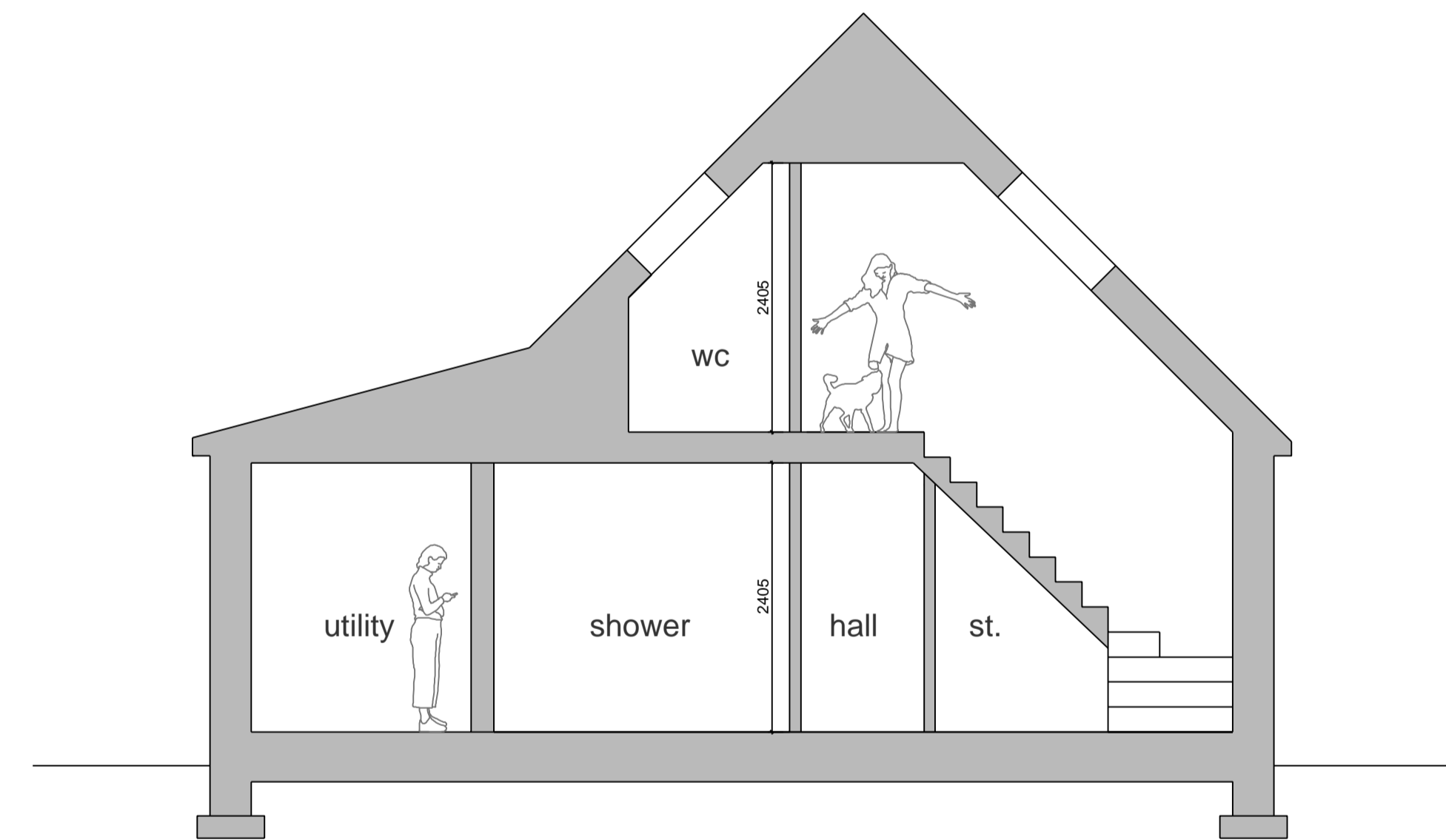
South West Elevation
 Scale 1:100



Ground Floor Plan
 Scale 1:50
 93m²



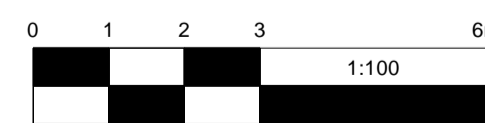
South East Elevation
 Scale 1:100



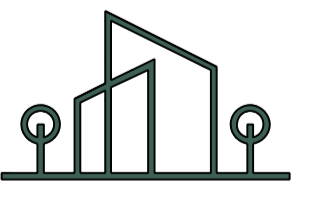
Section B-B
 Scale 1:50



North East Elevation
 Scale 1:100



Rev. A - elevations
 REVISION INT DATE
 GP 20/09/22
 INT DATE
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PROJECT:
 Mr Clarke,
 Land to the East of 6 Veere Park,
 Culross,
 KY12 8TF

TITLE:
 Plans and Elevations

DRAWN BY: GP	SCALE(S): 1:50	SHEET: A1
DATE: 08/09/22	PROJECT NO: 3316-PP-001	REV: A

Sustainability Checklist

FIFEplan Policy 11: Low Carbon Fife requires new development to show that it includes measures to address sustainable building, water conservation, sustainable urban drainage, recycling and the use of sustainable transport. The Council's Supplementary Guidance: Low Carbon Fife (2019) includes a sustainable development checklist which is required by the Council as part of a planning application submission. Additionally, this statement also provides support in terms of Policy 3: Infrastructure and Services which requires a development proposal to demonstrate the required level of low and zero carbon generating technologies in accordance with Policy 11.

This proposal does not need to address Air Quality in the Checklist as it has a site area of less than one hectare. It is also exempt from considering District Heating, being more than 1km from an existing or proposed district heating network.

Appendix B. Demonstrating compliance with Policy 11: Low Carbon Fife (sustainable buildings and district heating requirements)

Requirements under Policy 11: Sustainable Buildings

1. Demonstrate that the application meets the CO₂ emissions reduction targets currently in place and that the required proportion of that reduction is met by low and zero carbon generation technologies

Does an exemption apply?

The exemptions listed in building Standard 6.1 apply including:

- Conversions of buildings;
- Small extensions;
- Development proposals which are not heated or cooled (other than heating for frost protection);
- Temporary buildings with an intended life of less than 2 years.

Yes/No

If no has an energy statement of intention been submitted? - Yes/No

Extract from Fife Council checklist

Energy Statement of Intention

The following information refers to the energy efficiency measures taken and energy generating technologies associated with this application.

The proposed dwellinghouse will be subject to the current Building Regulations at the detailed design stage and will accord with the standards required at that time in relation to energy efficiency and energy generating technologies to contribute to a reduction in carbon dioxide emissions. This will include through insulation, renewable energy technology and water conservation.

Sustainability Checklist

Materials

2. Demonstrate that construction materials come from local or sustainable sources

A statement should be included setting out that the development will endeavour to provide the materials from local or sustainable sources. Additional detail should be included if available.

Extract from Fife Council checklist

The applicant understands the environmental benefits of locally and sustainably sourced materials, including the options for using recycled materials, accredited responsible suppliers and materials with recognised reduced environmental impact.

Water Conservation

3. Demonstrate that water conservation measures are in place

A statement should be included setting out that the development will include water conservation measures. Detail of the measures to be taken should be included if available.

Extract from Fife Council checklist

The proposed dwellinghouse will be constructed to meet with the relevant Building Standards. Sanitary facilities will have water efficient fittings, including dual flush cisterns and tap flow restrictors, designed to prevent the undue consumption of water, thereby saving energy and reducing CO₂ emissions.

Drainage

4. Demonstrate that sustainable urban drainage measures will ensure that there will be no increase in the rate of surface water run-off in peak conditions or detrimental impact on the ecological quality of the water environment

We require Compliance and Independent Check Certificate's to be submitted as per Fife Council's [Sustainable Drainage Systems \(SuDS\) - Design Criteria Guidance Note](#) (see the Appendices to the note).

Extract from Fife Council checklist

Full drainage assessment and design will be undertaken in compliance with the Council's guidance to ensure there is no surface water flooding and that there will be no damage to the water environment.

Sustainability Checklist

Waste Management

5. Demonstrate that facilities are provided for the separate collection of dry recyclable waste and food waste.

PPP applications: We require a statement setting out that measures for the storage of dry recyclable waste and food waste will be provided as part of the development.

Full/detailed applications: We require full details on how dry recyclable waste and food waste will be stored.

Extract from Fife Council checklist

The proposed dwellinghouse will comply with Building Standards and Fife Council's requirements for the storage and collection of landfill waste, for dry recyclables and for food waste. There is ample space to accommodate bin storage.

Transport

All development should encourage and facilitate the use of sustainable transport appropriate to the development, promoting in the following order of priority: walking, cycling, public transport, cars.

PPP applications: A statement should be included setting out the intended measures to encourage and facilitate the use of sustainable transport focusing on the order of priority set out in policy 11.

Full/detailed applications: We require full details on how the development encourages and facilitates the use of sustainable transport focusing on the order of priority set out in policy 11.

Extract from Fife Council checklist

The site is located on the W edge of Low Valleyfield, on Main Street, with a footway along the road to the east and into Low Valleyfield and along Low Causeway to the west into Culross. The site is also adjacent to the Fife Coastal Path and nearby further Core Paths in the area, providing opportunities for active travel.

The site is well linked by all sustainable modes of transport including bus and rail. There are bus stops within 150m of the site, both to the west and east on Main Street, with frequent services linking to surrounding towns and villages, including High Valleyfield, Cairneyhill, Crossford, Dunfermline, Culross, Kincardine, Alloa and Falkirk, linking into the wider public transport network. The nearest access to a rail station is in Dunfermline (9km), accessing the Fife Circle Line and linking into the wider rail network.

These public transport and active travel opportunities minimise the need for longer unsustainable car journeys.

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Date : 8 December 2022

For the attention of : Bryony Russell

A.S Associates
85 High Street
Newburgh
Fife
KY14 6DY

Project Reference : **TOPOGRAPHICAL SURVEY AT LAND TO THE EAST OF 6 VEERE PARK, CULROSS**

Dear Bryony,

Thank you for your confirmation to proceed with the topographical survey works for your development site at Land to the East of 6 Veere Park, Culross and we now have pleasure in enclosing the following survey data :

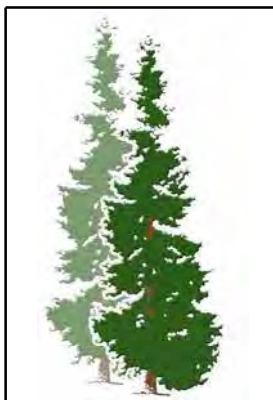
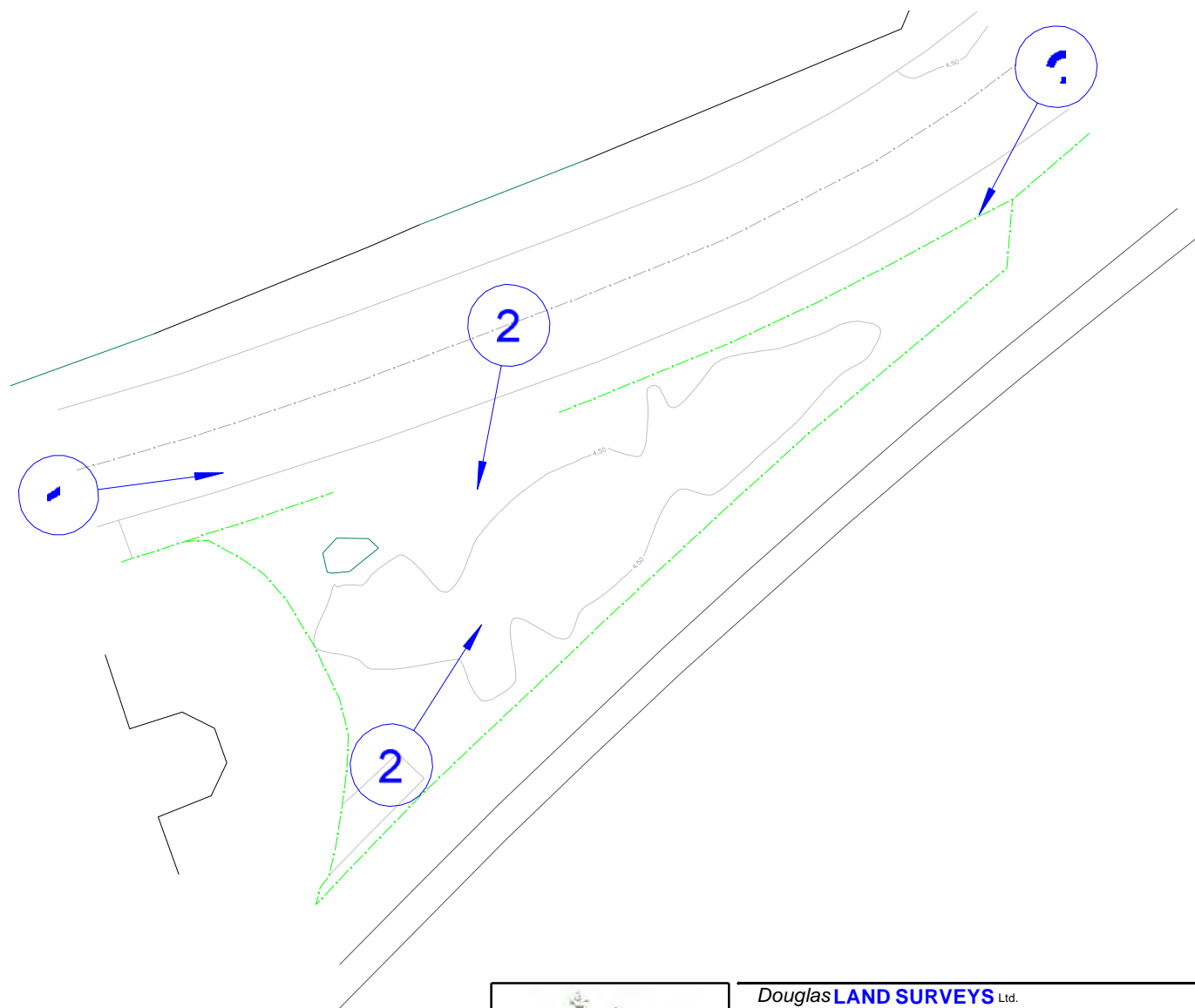
- 1 No. Compressed Zip folder Containing – Survey Drawing No. 43122-01 in 2D & 3D DXF format
- Photo Presentation 43122-01 comprising:- Photo Location Diagram & 4 Site Photos (2 No. Pages)

The photo presentation provides a library record of site conditions at time of survey and will allow you to view the site on computer screen, which may be of some help when preparing your development proposals for the site.

Trust the attached details meet with your full requirements and should you need any further complementary information or assistance relating to any aspect of these survey works, just give me a call.

Yours Faithfully

Steve Dickson (*Manager*)



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DouglasLAND SURVEYS Ltd.

□ DOUGLAS LAND SURVEYS

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□ LAND SURVEYS
□ HYDROGRAPHIC SURVEYS
□ PHOTOGRAMMETRIC SURVEYS
□ AS BUILT SURVEYS
□ BOUNDARY RESOLUTION

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Registered Office: Agra House, 15 King Street, Newport-on-Tay, Fife, DD6 8BN.

Subject **Photo Location Diagram for
Land to the East of 6 Veere Park,
Culross**

Drawn by **D.McArthur** Page **1 of 1**

Dwg No **43122/01** Date **08/12/2022**



View 1



View 2

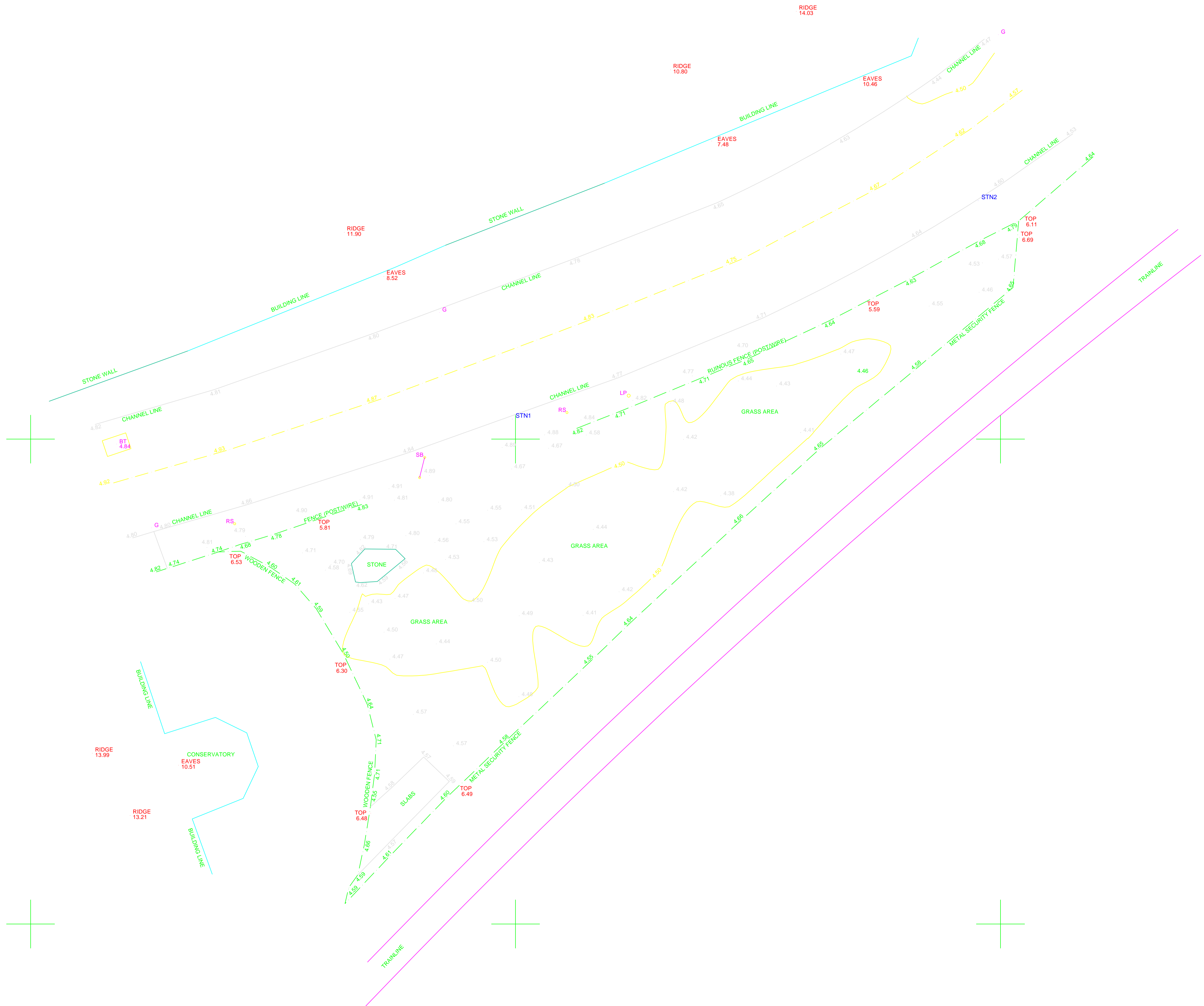


View 3



View 4





LEGEND

SYMBOLS

BOREHOLE		STUMP	
CONTROL STATION		TRIAL PIT	
GATE		TREE	
SERVICE COVER			

LINE STYLES

BOTTOM OF BANK	
BUILDING FOOTPRINT	
BUSH CANOPY	
CHANGE OF SURFACE	
CHANNEL LINE	
FENCE	
HEDGE	
OVERHEAD WIRES	
ELECTRIC	
TELECOM	
PATH EDGE	
ROAD CENTRE LINE	
STRIP GULLY	
TOP OF BANK	
TOP OF KERB	
TREE CANOPY	
WALL	

ABBREVIATIONS

AV = AIR VALVE	LP = LAMPOST
BH = BOREHOLE	MH = MANHOLE
BOL = BOLLARD	MKR = MARKER
BOX = ELEC / BT BOX	PIT = TRIAL PIT
BT = BRITISH TELECOM	PEG = MARKER PEG
EA = EAVES LEVEL	RD = RIDGE LEVEL
EC = ELECTRICITY COVER	RS = ROAD SIGN
EP = ELECTRICITY POLE	SB = SIGN BOARD
FFL = FINISHED FLOOR LEVEL	SC = STOP COCK
FP = FLAG POLE	SV = STOP VALVE
GULLY	TCB = TELEPHONE CALL BOX
GAS = BRITISH GAS	TL = TRAFFIC LIGHT
HY = FIRE HYDRANT	TOW = TOP OF WALL
INS = INSPECTION COVER	TP = TELEGRAPH POLE
INVERT LEVEL	TV = TELEVISION
SG = STRIP GULLY	WM = WATER METER

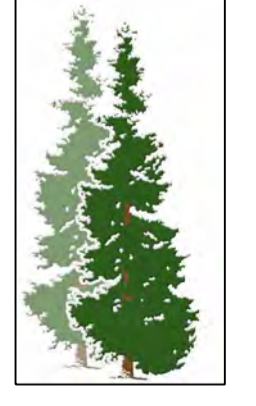
NOTES

- GRID IS RELATED TO O.S. GRID
- ALL LEVELS RELATE TO O.S.B.M. ASCERTAINED BY LOGGING G.P.S. DATA
- CONTOURS ARE AT 0.50 (m) INTERVALS
- CONTOURS AT VERTICAL FEATURES ARE INDICATIVE
- LEVELS FOR ROAD ARE TAKEN ALONG CHANNEL LINE
- WHILE EVERY EFFORT HAS BEEN MADE TO LOCATE THE POSITION OF ALL SERVICE COVERS (eg. manholes) IT SHOULD BE NOTED THAT THIS MAY NOT HAVE BEEN POSSIBLE AT THE TIME OF SURVEY DUE TO GROUND COVER OR LOCAL OBSTRUCTIONS.
- ISOLATED MATURE TREES ARE DENOTED BY TRUNK AND ESTIMATED AVERAGE OUTER CANOPY.
- ALL CONTROL STATION COORDINATES SHOULD BE CHECKED AND VERIFIED ON SITE PRIOR TO USE. DOUGLAS LAND SURVEYS SHOULD BE INFORMED OF ANY DISCREPANCIES FOUND.
- OWNERSHIP OF SURVEY DATA REMAINS WITH DOUGLAS LAND SURVEYS, UNTIL INVOICE RELATING TO SUCH DATA HAS BEEN PAID IN FULL.

CONTROL STATIONS

CONTROL STATIONS			
Station No.	Description	Eastings	Northings
STN1	NAIL	299499.829	686151.037
STN2	NAIL	299523.836	686162.299

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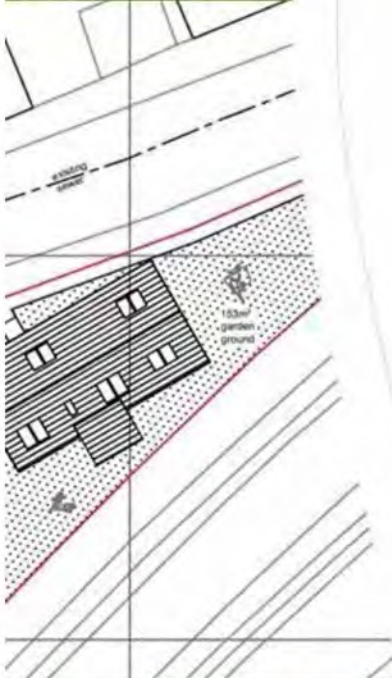
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□ AS BUILT SURVEYS
□ BOUNDARY RESOLUTION

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Title: Land to the East of 6 Veere Park, Culross

Drawn By: D.McArthur Scale: 1/100 Date: 08/12/2022

Drawing Number: **43122** Revision: **01**



EARTH ENVIRONMENTAL
& GEOTECHNICAL

Coal Mining Risk Assessment

6 Veere Park

Culross

December 2022

For

Mr. Clarke

Earth Environmental & Geotechnical Ltd
Houldsworth Mill Business Centre
Houldsworth Street
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SK5 6DA

Tel : 01619756088

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COAL MINING RISK ASSESSMENT

FOR

MR. CLARKE

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Tel 0161 9756088

Report No. A5163/22

DECEMBER 2022

Report Title:	6 Veere Park, Culross, Fife, Coal Mining Risk Assessment	
Report Reference:	A5163/22	
Client:	Mr. Clarke	
Issue Date:	28th December 2022	
Drafted By:	E Czarnecki BSc, MSc	
Reviewed By:	A Czarnecki BSc (Hons) FGS CGeol	
Authorised By:	A Czarnecki BSc (Hons) FGS CGeol	

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FIGURES

Figure 1	Development Layout Plan
Figure 2	Site Location Plan
Figure 3	Site Photograph
Figure 4	BGS Borehole Records
Figure 5	Coal Authority Map Extract

APPENDICES

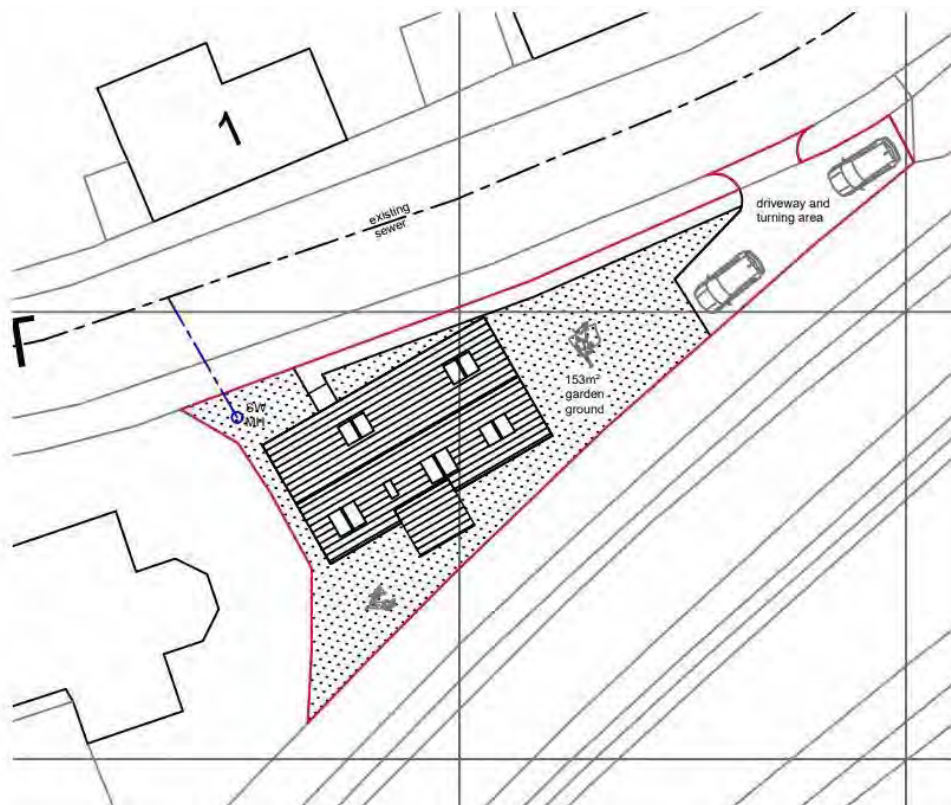
Appendix 1	Coal Authority Consultants Mining Report
Appendix 2	Report Limitations

1.0 INTRODUCTION

Appointment

- 1.1 Earth Environmental & Geotechnical Ltd have been commissioned by A.S. Associates on behalf of Mr. Clarke (the client), to undertake a Coal Mining Risk Assessment to support a planning application (22/03236/FULL).
- 1.2 This Coal Mining Risk Assessment has been prepared to assist with a planning application, to Fife Council, for the erection of a new dwelling house with access and parking.
- 1.3 A development layout plan is provided below as Figure 1

Figure 1 Development Layout Plan



Objective

- 1.4 The purpose of the Coal Mining Risk Assessment is to collate available geological, mining, and historical data to assess the potential for the site to be affected by underground mining.
- 1.5 This report has been drafted in accordance with the Coal Authority (CA) Guidance Risk Based Approach to Development Management, Version 4, 2017.

Sources of Information

1.6 The Coal Mining Risk Assessment compiles a review of the following information sources:

British Geological Survey of England, Sheet Alloa 39E, 1/50,000 scale, 1974 edition.
British Geological Survey of England, NS98NE, 1/10,560 1963 edition.
Coal Authority Interactive Map Viewer.
Coal Authority Mining Report.
British Geological Survey online borehole records.
Google Earth imagery.
Online Historical Ordnance Survey maps.
Site Investigations in Areas of Mining Subsidence, FG Bell, 1975.
The threat of abandoned mines on the stability of urban areas, Barry Clarke, IAEG2006 Paper Number 379, The Geological Society of London, 2006.
The collapse of shallow coal mine workings, Durham theses, Durham University, Garrard, 1981.
Construction over abandoned mineworking's, CIRIA Special Publication 32, 2002.
Abandoned Mineworking's Manual, CIRIA 2019.
Fife Council planning portal.
David Murray and Associates Mineral Risk Assessment Summary, 2015.
Scottish coal seam names and correlations Energy Systems and Basin Analysis Open Report OR/18/027, British Geological survey.

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The site is located to the south of Main Street, Culross, approximately 10km south west of Dunfermline town centre. The site lies at an elevation of 6m AOD (centre of site).
- 2.2 The approximate National Grid Reference for the centre of the site is NS99496 86138 with the closest postcode being KY12 8NE.
- 2.3 The site is a triangular shaped garden plot adjacent to 6 Veere Park, Culross.
- 2.4 The development area is flat and is bordered by a railway line to the south, by Main Street to the north and by the existing house at 6 Veere Park to the west.

Figure 2 Site Location Plan

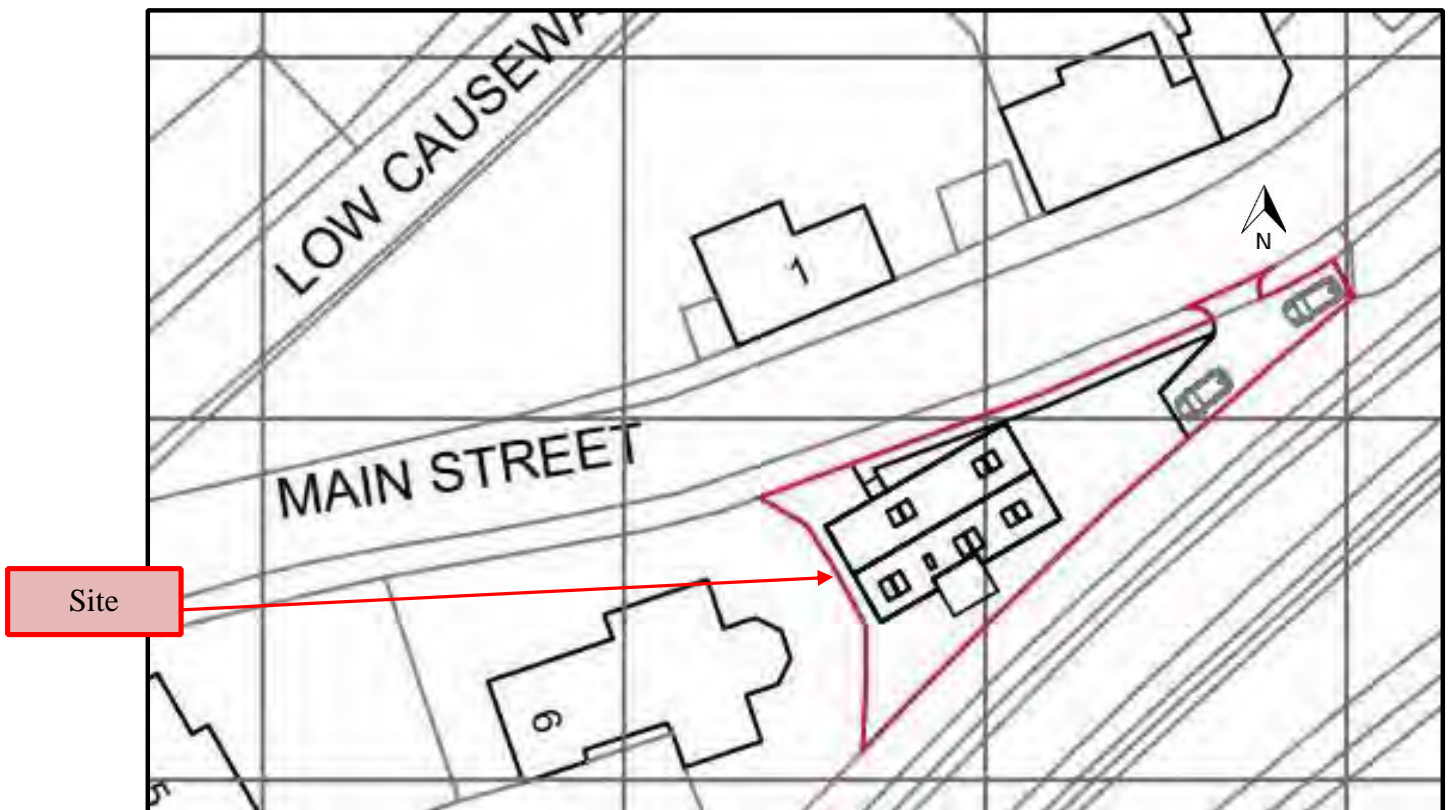


Figure 3 Site Photograph



3.0 ASSESSMENT OF DATA

Geological Information

3.1 The geology of the site has been determined from geological maps for the area and examination of Coal Authority (CA) records.

British Geological Survey Published Data Assessment

3.2 The site forms part of a strip of ground that was reclaimed from the sea during the late 19th and early 20th Century.

3.3 Geological maps show that the site is underlain by reclaimed intertidal deposits consisting of silt and clay and raised tidal flat deposits of Holocene age.

3.4 Solid strata underlying the drift deposits are of Carboniferous age comprising the rocks of the Upper Limestone Formation, consisting of interbedded sandstones, siltstones, and mudstones, with seams of coal, ironstone and occasional thin limestones.

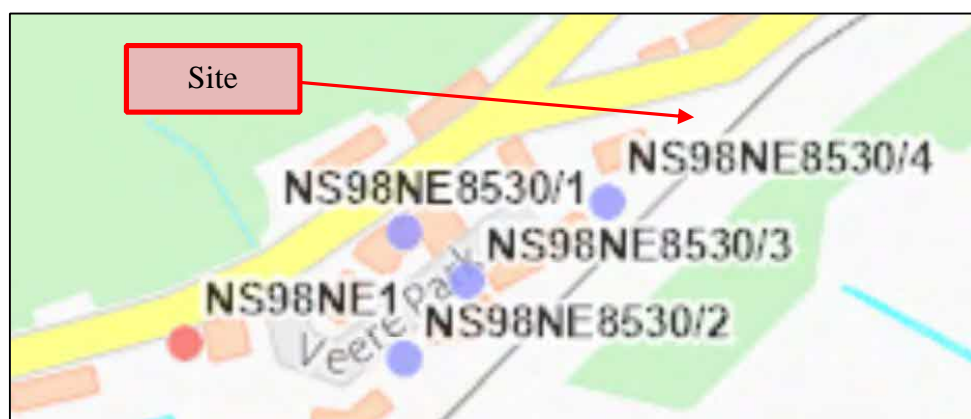
3.5 The site is located close to the axis of a synclinal structure, with strata likely to dip at relatively shallow angles towards the south-east.

3.6 The Pleen No.1 Limestone is shown to outcrop at rockhead a short distance to the southeast of the site boundary. Based upon the stratigraphic section the only economic mineral seam likely to be present at shallow depth in this area is the Upper Hirst Coal which is anticipated to be around 2.10m in thickness.

3.7 This seam is expected to be present at depths of around 70m below the Pleen No. 1 Limestone and on the basis of the recorded outcrops in the area, the Upper Hirst Coal would be expected to underlie the site currently under consideration at depths of around 60-70m below rockhead under the site.

3.8 There are a number of BGS borehole records within 100m of the site with the nearest NS98NE8530/4 (Figure 4 below) drilled in 1981, encountering shale at 3.05m to the base of the borehole at 3.65m.

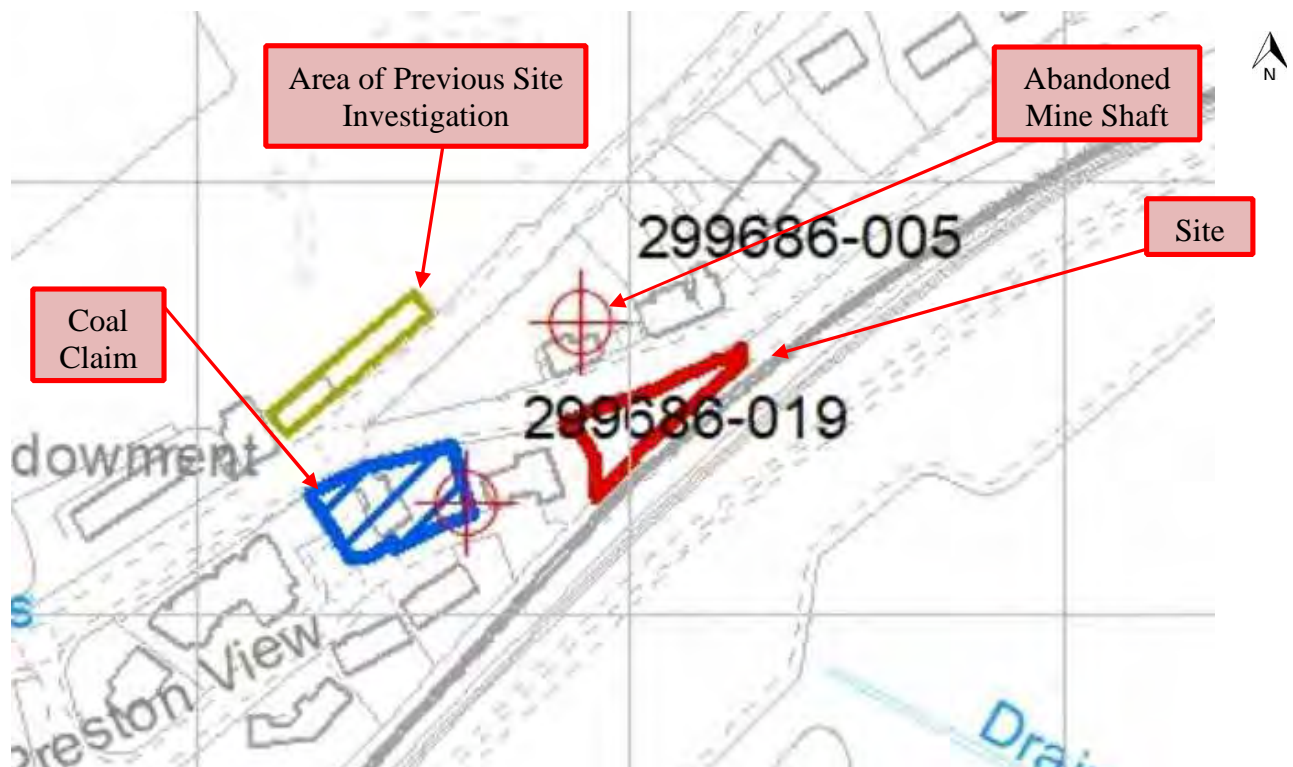
Figure 4 BGS Borehole Records



Coal Authority Records

- 3.9 Reference to the Coal Authority Online Interactive Viewer shows the site to be located within a Development High Risk Area. It is also shown to be in an area of Shallow Probable Workings.
- 3.10 The Coal Authority Consultants mining report highlights that the site is within an area of probable unrecorded shallow workings. There is one coal claim within 50m, of the site boundary, which is thought to be associated with an abandoned coal mine shaft.
- 3.11 The site is underlain by past underground mining activity associated with the Upper Hirst coal seam, which was last mined in 1842, at a depth of 70m below ground level. The coal seam (2.13m thick) dips at 18.4 degrees to the south east.
- 3.12 A Coal Authority Mining Report (extract shown as Figure 5 below) has been acquired for the site, the development area which shows two nearby shafts, 299686-005 (16m north) and 299686-019 (30m south west).
- 3.13 Both shafts have a departure (positional accuracy) of 8m (suggesting records are abandoned mine plans) and are untreated. Shaft 299686-005 has a recorded ultimate depth of 55m.
- 3.14 The development area is considered to be outside of the zone of influence of both shafts, given the departure distance (8m) and anticipated depth to rockhead (3m).

Figure 5 Coal Authority Map Extract



- 3.15 There are no geological faults or outcrops recorded within 100m of the boundary of the site.

- 3.16 There are no records of subsidence, previous site investigations or remediated sites within 50m of the site boundary.
- 3.17 There are no opencast mines or Coal Authority managed tips within 500m of the site boundary.
- 3.18 There are no mine gas emissions or mine water treatment schemes or recorded within 500m of the site boundary.

4.0 COAL MINING RISK ASSESSMENT

Scope of Coal Mining Risk Assessment

- 4.1 Objectives of the coal mining risk assessment are to provide a desk-based assessment of available geological and mining information relating to the site (and wider area) and to use this information to identify risks present to the development from the legacy of mining.
- 4.2 As part of the risk assessment, potential mitigation measures (if required) should be considered, including any necessary remedial works.
- 4.3 The outcome of the risk assessment should demonstrate to the Local Authority that the proposed development is or can be made safe (and stable) to meet the requirements of the National Planning Policy Framework (NPPF).

Data Limitations

- 4.4 It should be appreciated that it did not become a legal requirement to deposit coal mining abandonment plans until the 1870's and that this requirement was not rigorously enforced for some time after. Many shallow coal seams were worked prior to the introduction of first edition Ordnance Survey Maps and information on these workings is often not available. Therefore, if coal seams were accessible then there is the potential that they could have been worked by formal or informal means.
- 4.5 It is also possible that if unrecorded workings are present then unrecorded mine entries may be present.

Coal Mining Risks

- 4.6 The risks associated with coal mining are as follows:

Collapse of relict workings beneath buildings causing damage to the building fabric and infrastructure.

Migration of mine gases from old mine workings and mine entries resulting in accumulation of flammable and asphyxiating gases in confined areas.

Consolidation of relict workings and overlying strata causing structural defects in building fabric and infrastructure.

Failure of mine entries causing loss of ground beneath building and external areas.

Spontaneous combustion of old mine workings.

Conclusions

- 4.7 It is understood the client wished to develop a new residential dwelling within the garden area of 6 Veere Park, Culross.
- 4.8 The site lies within a Coal Authority Development High Risk Area and within an area of Probable Unrecorded Shallow Workings.
- 4.9 Local borehole data indicate a shallow bedrock surface at 3m below ground level.
- 4.10 Coal Authority records that the Hirst coal seam has been mined beneath the site at a depth of 70m below the site. These historical workings are considered to be outside the zone of influence of the surface and therefore do not pose a risk to the proposed development.
- 4.11 There are two untreated coal mine shafts 299686 -19 and 299686 -005, 30m and 16m away from the site boundary. The shafts are at a sufficient distance not to be of concern to the development.
- 4.12 According to the Coal Authority report there are no records of subsidence or mine gas in the area .

Proposed Mitigation Strategy

- 4.13 As there is a risk of shallow coal mine workings it would be prudent to drill two boreholes to a depth of 30m below ground level, to assess the shallow coal mining regime.
- 4.14 The drilling of boreholes will require a permit from the Coal Authority with the payment of a fee, development of a method statement and risk assessment.
- 4.15 This report should be submitted to the planning authority for their approval. Any site investigation work could be conditioned within the planning permission.

APPENDIX 1

COAL AUTHORITY MINING REPORT

APPENDIX 2

REPORT LIMITATIONS

REPORT LIMITATIONS

This contract was completed by Earth Environmental & Geotechnical Ltd based on a defined programme and scope of works and terms and conditions agreed with the client. This report was compiled with all reasonable skill, and care, bearing in mind the project objectives, the agreed scope of works, the prevailing site conditions, the budget, and staff resources allocated to the project.

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If a third party relies on this report, it does so wholly at its own and sole risk and Earth Environmental & Geotechnical Ltd disclaims any liability to such parties.

It is Earth Environmental & Geotechnical Ltd understanding that this report is to be used for the purpose described in the introduction to the report. That purpose was an important factor in determining the scope and level of the services. Should the purpose for which the report is used, or the proposed use of the site change, this report will no longer be valid and any further use of, or reliance upon the report in those circumstances by the client without Earth Environmental & Geotechnical Ltd review and advice shall be at the client's sole and own risk.

The report was written in 2022 and should be read considering any subsequent changes in legislation, statutory requirements and industry best practices. Ground conditions can also change over time and further investigations, or assessment should be made if there is any significant delay in acting on the findings of this report. The passage of time may result in changes in site conditions, regulatory or other legal provisions, technology or economic conditions which could render the report inaccurate or unreliable. The information and conclusions contained in this report should not be relied upon in the future without the written advice of Earth Environmental & Geotechnical Ltd. In the absence of such written advice of Earth Environmental & Geotechnical Ltd, reliance on the report in the future shall be at the client's own and sole risk. Should Earth Environmental & Geotechnical Ltd be requested to review the report in the future, Earth Environmental & Geotechnical Ltd shall be entitled to additional payment at the then existing rate or such other terms as may be agreed between Earth Environmental & Geotechnical Ltd and the client.

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The services are based upon Earth Environmental & Geotechnical Ltd observations of existing physical conditions at the site gained from a walkover survey of the site together with Earth Environmental & Geotechnical Ltd interpretation of information including documentation, obtained from third parties and from the client on the history and usage of the site. The findings and recommendations contained in this report are based in part upon information provided by third parties, and whilst Earth Environmental & Geotechnical Ltd have no reason to doubt the accuracy and that it has been provided in full from those it was requested from, the items relied on have not been verified.

No responsibility can be accepted for errors within third party items presented in this report. Further Earth Environmental & Geotechnical Ltd was not authorised and did not attempt to independently verify the accuracy or completeness of information, documentation or materials received from the client or third parties, including laboratories and information services, during the performance of the services. Earth Environmental & Geotechnical Ltd is not liable for any inaccurate information, misrepresentation of data or conclusions, the discovery of which inaccuracies required the doing of any act including the gathering of any information which was not reasonably available to Earth Environmental & Geotechnical Ltd and including the doing of any independent investigation of the information provided to Earth Environmental & Geotechnical Ltd save as otherwise provided in the terms of the contract between the client and Earth Environmental & Geotechnical Ltd.

Where field investigations have been carried out these have been restricted to a level of detail required to achieve the stated objectives of the work. Ground conditions can also be variable and as investigation excavations only allow examination of the ground at discrete locations. The potential exists for ground conditions to be encountered which are different to those considered in this report. The extent of the limited area depends on the soil and groundwater conditions, together with the position of any current structures and underground facilities and natural and other activities on site. In addition, chemical analysis was carried out for a limited number of parameters [as stipulated in the contract between the client and Earth Environmental & Geotechnical Ltd] based on an understanding of the available operational and historical information, and it should not be inferred that other chemical species are not present.

The groundwater conditions entered on the exploratory hole records are those observed at the time of investigation. The normal speed of investigation usually does not permit the recording of an equilibrium water level for any one water strike. Moreover, groundwater levels are subject to seasonal variation or changes in local drainage conditions and higher groundwater levels may occur at other times of the year than were recorded during this investigation.

Any site drawing(s) provided in this report is (are) not meant to be an accurate base plan but is (are) used to present the general relative locations of features on, and surrounding, the site.



The Coal
Authority

CON29M

coal mining report

PLOT TO THE WEST, 6 VEERE PARK, CULROSS, DUNFERMLINE, FIFE, KY12 8NE



Known or potential coal mining risks

Past underground coal mining	Page 4
Future underground coal mining	Page 4
Mine entries	Page 5
Coal mining subsidence	Page 6
Withdrawal of support	Page 6



Further action

These additional reports can give further detail on the risks identified:

- Mine entry interpretive report
- Mine entry plan and data sheets
- Subsidence claims 50m buffer report

For more information please see our **Further action reports** on page 10



Professional opinion

According to the official mining information records held by the Coal Authority at the time of this search, evidence of, or the potential for, coal mining related features have been identified. In view of the coal mining circumstances we would recommend that any planned or future development should follow detailed technical advice before beginning work on site. Please see **page 3** for further details on **Future development**.

Your reference: **11934214**
Our reference: **51002967933001**
Date: **7 March 2022**

Client name:
FIRST SCOTTISH S S LTD

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contact our experts on:
0345 762 6848
groundstability@coal.gov.uk

Enquiry boundary

Key

Approximate position of enquiry boundary shown



Disused mineshaft



Coal claims



We can confirm that the location is **on the coalfield**



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This report is prepared in accordance with the latest Law Society's Guidance Notes 2018, the User Guide 2018 and the Coal Authority's Terms and Conditions applicable at the time the report was produced.



Accessibility

If you would like this information in an alternative format, please contact our communications team on 0345 762 6848 or email communications@coal.gov.uk.

Professional opinion



Mine entries

The enquiry boundary shows the approximate location of the disused mine entry/entries referred to in this report. Property owners have the benefit of statutory protection (under the Coal Mining Subsidence Act 1991). This contains provision for the making good, to the reasonable satisfaction of the owner, of physical damage caused by disused coal mine workings including disused coal mine entries. A leaflet setting out the rights and obligations of either the Coal Authority or other responsible persons under the 1991 Act can be obtained by visiting www.coal.gov.uk. Please note this Act is not valid where coal was worked or extracted by virtue of the grant of a gale in the Forest of Dean, or any other part of the Hundred of St. Briavels in the county of Gloucester.

If you wish to discuss the relevance of any of the information contained in this report, you should seek the advice of a qualified mining engineer or surveyor. If you or your advisor wishes to examine the source plans from which the information has been taken, these are available to view, at our Coal Authority head office in Mansfield. To book an appointment please call 01623 637 225. Should you or your advisor wish to carry out a physical investigation that may enter, disturb or interfere with any disused mine entry, prior permission must be sought from the owner. For coal mine entries, the owner will normally be the Coal Authority.

The Coal Authority, regardless of responsibility and in conjunction with other public bodies, provide an emergency, 24 hour call out facility in coalfield areas to assess the public safety implications of mining features (including disused mine entries). To report an emergency you can call 0800 288 4242.



Future development

If development proposals are being considered, technical advice relating to both the investigation of coal and former coal mines and their treatment should be obtained before beginning work on site. All proposals should apply specialist engineering practice required for former mining areas. No development should be undertaken that intersects, disturbs or interferes with any coal or coal mines without first obtaining the permission of the Coal Authority. Developers should be aware that the investigation of coal seams, mine workings or mine entries may have the potential to generate and/or displace underground gases. Associated risks both to the development site and any neighbouring land or properties should be fully considered when undertaking any ground works. The need for effective measures to prevent gases migrating onto any land or into any properties, either during investigation or remediation work, or after development must also be assessed and properly addressed.

If you are looking to develop, or undertake works, within a coal mining development high risk area your Local Authority planning department may require a Coal Mining Risk Assessment to be undertaken by a qualified mining geologist or engineer. Should you require any additional information then please contact the Coal Authority on 0345 762 6848 or email cmra@coal.gov.uk

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Detailed findings

Information provided by the Coal Authority in this report is compiled in response to the Law Society's CON29M Coal Mining enquiries. The said enquiries are protected by copyright owned by the Law Society of 113 Chancery Lane, London WC2A 1PL.

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1 Past underground coal mining

The property is in a surface area that could be affected by underground mining in 5 seams of coal at 60m to 660m depth, and last worked in 1942.

Any movement in the ground due to coal mining activity associated with these workings should have stopped by now.

In addition the property is in an area where the Coal Authority believes there is coal at or close to the surface. This coal may have been worked at some time in the past. The potential presence of coal workings at or close to the surface should be considered, particularly prior to any site works or future development activity, as ground movement could still be a risk. Your attention is drawn to the Professional opinion sections of the report.

2 Present underground coal mining

The property is not within a surface area that could be affected by present underground mining.

3 Future underground coal mining

The property is not in an area where the Coal Authority has received an application for, and is currently considering whether to grant a licence to remove or work coal by underground methods.

The property is not in an area where a licence has been granted to remove or otherwise work coal using underground methods.

The property is not in an area likely to be affected from any planned future underground coal mining.

However, reserves of coal exist in the local area which could be worked at some time in the future.

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No notices have been given, under section 46 of the Coal Mining Subsidence Act 1991, stating that the land is at risk of subsidence.

4 Mine entries

Within, or within 20 metres of, the boundary of the property there is 1 mine entry, the approximate position of which is shown on the enquiry boundary plot. For reasons of clarity, mine entry symbols may not be drawn to the same scale as the plan.

There is no record of what steps, if any, have been taken to treat the mine entry.

This information is based on the information that the Coal Authority has at the time of this enquiry.

Based on the Coal Authority's knowledge of the mining circumstances at the time of this enquiry, there may be unrecorded mine entries in the local area that do not appear on Coal Authority records.

For an additional fee, the Coal Authority can provide a Mine Entry Interpretive Report. The report will provide a separate assessment for the mine entry/entries referred to in this report. It gives an opinion on the likelihood of mining subsidence damage caused from ground movement as a consequence of the mine entry/entries. It also gives details of the remedies available for subsidence damage where the mine entry was sunk in connection with coal mining.

Please note that it may not be possible to produce a report if the main building to the property cannot be identified from Coal Authority plans (ie for development sites and new build).

For further advice on how to order this additional information please visit www.groundstability.com.

5 Coal mining geology

The Coal Authority is not aware of any damage due to geological faults or other lines of weakness that have been affected by coal mining.

6 Past opencast coal mining

The property is not within the boundary of an opencast site from which coal has been removed by opencast methods.

7 Present opencast coal mining

The property does not lie within 200 metres of the boundary of an opencast site from which coal is being removed by opencast methods.

8 Future opencast coal mining

There are no licence requests outstanding to remove coal by opencast methods within 800 metres of the boundary.

The property is not within 800 metres of the boundary of an opencast site for which a licence to remove coal by opencast methods has been granted.

9 Coal mining subsidence

There is a claim within 50 metres of the property boundary that does not match the property address. This is shown on the enquiry boundary plot.

There is no current Stop Notice delaying the start of remedial works or repairs to the property.

The Coal Authority is not aware of any request having been made to carry out preventive works before coal is worked under section 33 of the Coal Mining Subsidence Act 1991.

If further subsidence damage claims information is required, please visit www.groundstability.com.

10 Mine gas

The Coal Authority has no record of a mine gas emission requiring action.

11 Hazards related to coal mining

The property has not been subject to remedial works, by or on behalf of the Coal Authority, under its Emergency Surface Hazard Call Out procedures.

12 Withdrawal of support

The property is in an area where a notice to withdraw support was given in 1946.

The property is not in an area where a notice has been given under section 41 of the Coal Industry Act 1994, cancelling the entitlement to withdraw support.

13 Working facilities order

The property is not in an area where an order has been made, under the provisions of the Mines (Working Facilities and Support) Acts 1923 and 1966 or any statutory modification or amendment thereof.

14 Payments to owners of former copyhold land

The property is not in an area where a relevant notice has been published under the Coal Industry Act 1975/Coal Industry Act 1994.

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Statutory cover



Coal mining subsidence

In the unlikely event of any coal mining related subsidence damage, the Coal Authority or the mine operator has a duty to take remedial action in respect of subsidence caused by the withdrawal of support from land or property in connection with lawful coal mining operations.

When the works are the responsibility of the Coal Authority, our dedicated public safety and subsidence team will manage the claim. The house or land owner ("the owner") is covered for these works under the terms of the Coal Mining Subsidence Act 1991 (as amended by the Coal Industry Act 1994). Please note, this Act does not apply where coal was worked or gotten by virtue of the grant of a gale in the Forest of Dean, or any other part of the Hundred of St. Briavels in the county of Gloucester.

If you believe your land or property is suffering from coal mining subsidence damage and you need more information on what to do next, please use the following link to our website which sets out what your rights are and what you need to consider before making a claim.

www.gov.uk/government/publications/coal-mining-subsidence-damage-notice-form



Coal mining hazards

Our public safety and subsidence team provide a 24 hour a day, 7 days a week hazard reporting service, to help protect the public from hazards caused by past coal workings, such as a mine shaft or shallow working collapse. To report any hazards please call **0800 288 4242**. Further information can be found on our website: www.gov.uk/coalauthority

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Glossary



Key terms

adit - horizontal or sloped entrance to a mine

coal mining subsidence - ground movement caused by the removal of coal by underground mining

Coal Mining Subsidence Act 1991 - the Act setting out the duties of the Coal Authority to repair damage caused by coal mining subsidence

coal mining subsidence damage - damage to land, buildings or structures caused by the removal of coal by underground mining

coal seams - bed of coal of varying thickness

future opencast coal mining - a licence granted, or licence application received, by the Coal Authority to excavate coal from the surface

future underground coal mining - a licence granted, or licence application received, by the Coal Authority to excavate coal underground. Although it is unlikely, remaining coal reserves could create a possibility for future mining, which would be licensed by the Coal Authority

mine entries - collective name for shafts and adits

payments to owners of former copyhold land - historically, copyhold land gave rights to coal to the copyholder. Legislation was set up to allow others to work this coal, but they had to issue a notice and pay compensation if a copyholder came forward

shaft - vertical entry into a mine

site investigation - investigations of coal mining risks carried out with the Coal Authority's permission

stop notice - a delay to repairs because further coal mining subsidence damage may occur and it would be unwise to carry out permanent repairs

subsidence claim - a formal notice of subsidence damage to the Coal Authority since it was established on 31 October 1994

withdrawal of support - a historic notice informing landowners that the coal beneath their property was going to be worked

working facilities orders - a court order which gave permission, restricted or prevented coal mine workings



Further action reports

Mine entry interpretive report - assesses the risk of ground movement from mine entries in, or within 20 metres of, the property boundary. To order this report, use the same boundary as the CON29M report, then draw the building on the additional map screen.

For more information and to order this report please visit:

<https://www2.groundstability.com/interpretive-report>

Mine entry plan and data sheets - give additional information on mine entries recorded on a piece of land. To order this report use the same boundary as the CON29M report and a member of our team will contact you to confirm the mine entries to include in this bespoke report.

For more information and to order this report please visit:

<https://www2.groundstability.com/plan-and-data-sheets>

Subsidence claims 50m buffer report - gives information on coal mining subsidence claims within 50 metres of the property boundary. To order this report, use the same boundary as the CON29M mining report.

For more information and to order this report please visit:

<https://www2.groundstability.com/subsidence-50m-buffer>

AS Associates Ltd

Proposed Development off Main Street, Culross

Flood Risk Assessment

FINAL

February 2023

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1 Introduction

Kaya Consulting was commissioned by AS Associates Ltd to undertake a Flood Risk Assessment in support of the development in Culross, Fife.

The site is currently undeveloped and was formally part of the grounds of 6 Veere Park. The development proposals are for a single, residential dwelling. This will constitute an increase in "Land Use Vulnerability" according to the SEPA guidance. This means any development will need to be located outwith the functional floodplain.

The site measures approximately 420m² and is bounded to the north by Main Street and some residential properties; to the east by a railway line and footpath; to the south by land formed from outputs from the Longgannet Power Station and to the west by existing residential properties on Veere Park.

The Firth of Forth lies approximately 190m to the south-west of the site at its closest. There is a small burn, named Burn 1 in this report, that drains parts of Kirkbrae Wood to the north of the site. This is thought to be culverted under Low Causeway.

The SEPA Flood Maps for this area suggest that areas close to the site may be at risk of flooding from coastal sources in the "medium" likelihood scenario (200-year). This is from the Firth of Forth in this instance. Some surface water ponding is also predicted on the SEPA Flood Maps. The flood risk from these sources, and all sources, will be considered as part of this study.

The scope of work includes the following:

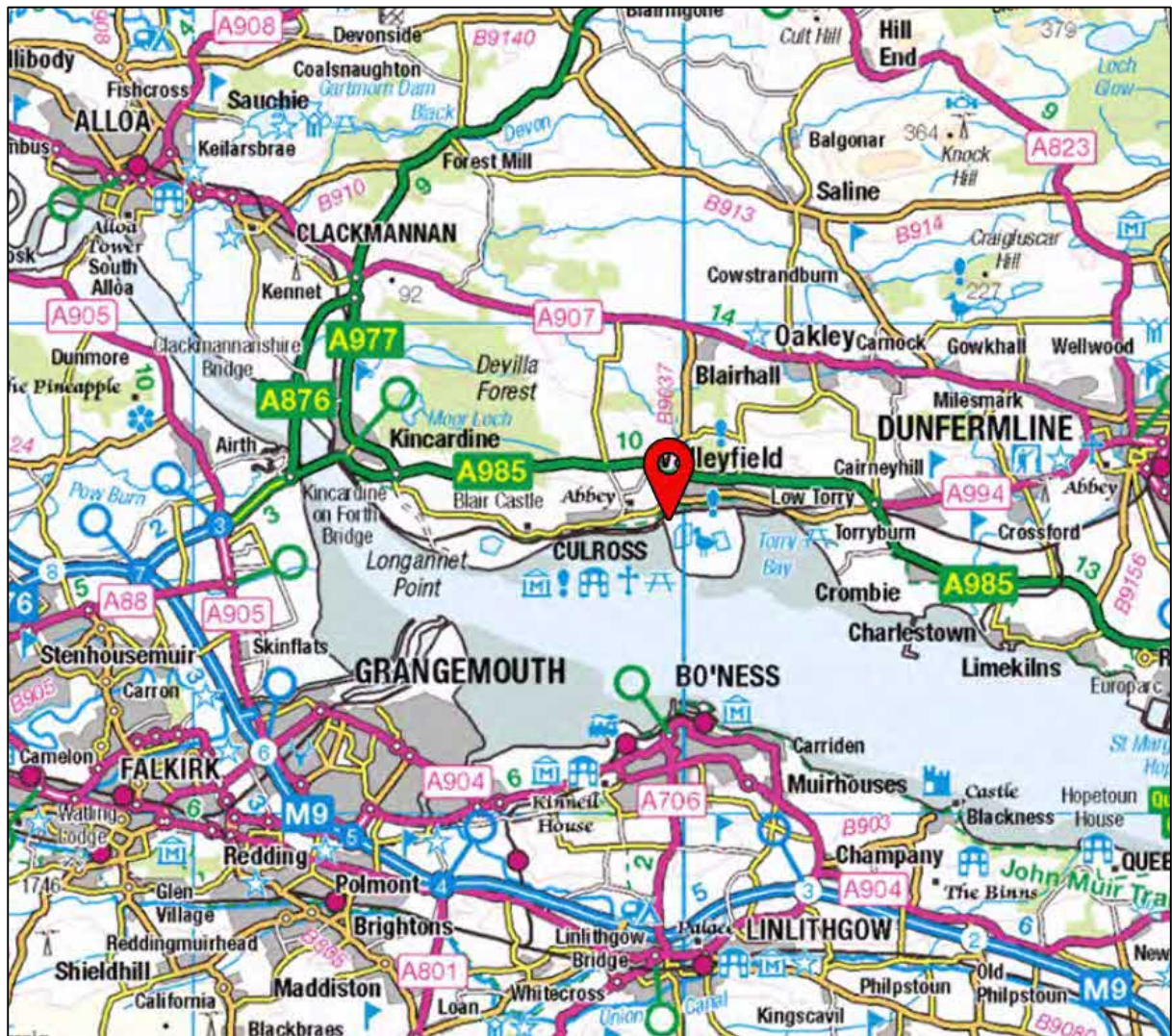
- Walkover site visit;
- Review of historical maps and available historical flood records;
- Consult with Fife Council and review previous studies undertaken;
- Calculate Extreme Sea Levels in the Firth of Forth for the 200-year and 200-year + climate change scenario and assess flood risk from Firth of Forth;
- Assessment of risk from surface water runoff based on LiDAR DTM data;
- Assessment of risk from other sources, such as ground water and existing drainage systems;
- Recommendations for additional works if deemed necessary; and
- Flood risk assessment report

Information made available to Kaya Consulting Limited for the study includes the following:

- Site location map
- Indicative development proposals
- LiDAR DTM data.

A general location map of the site is shown in **Figure 1**.

Figure 1: General location of the site



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2 Legislative and Policy Aspects

2.1 National Planning Policy

The current version of the Scottish Planning Policy (SPP) was published in June 2014 <https://www.gov.scot/publications/scottish-planning-policy/>.

At the time of this report National Planning Framework 4 (NPF4) has been drafted but is not policy. However, given the imminent confirmation that NPF4 replaces SPP, this assessment has been undertaken with consideration to NPF4.

2.1.1 Scottish Planning Policy

The SPP sets out national planning policies that include policies related to the management of flood risk. The key principles of SPP with respect to flooding are that the planning system should promote (Paragraph 255):

a precautionary approach to flood risk from all sources, including coastal, watercourse (fluvial), surface water (pluvial), groundwater, reservoirs and drainage systems (sewers and culverts), taking account of the predicted effects of climate change;
flood avoidance: by safeguarding flood storage and conveying capacity, and locating development away from functional flood plains and medium to high risk areas;
flood reduction: assessing flood risk and, where appropriate, undertaking natural and structural flood management measures, including flood protection, restoring natural features and characteristics, enhancing flood storage capacity, avoiding the construction of new culverts and opening existing culverts where possible; and
avoidance of increased surface water flooding through requirements for Sustainable Drainage Systems (SuDS) and minimising the area of impermeable surface.

SPP requires that most types of development are not located within the functional floodplain of a watercourse or the coast, defined as an area flooded during a 1 in 200-year event. Development should also take into account the effects of future climate change. Types of development allowed in floodplains are those that are water compatible (e.g., sports pitches) or where there is a small extension or similar development on an existing footprint.

Civil infrastructure may not be suitable for areas at risk of flooding up to the 1000-year event and some other types of development (e.g., care homes, lodges, and campsites) may need to be protected for a 1 in 1000-year event, depending on the vulnerability of the land use.

SPP requires infrastructure and buildings to be generally designed to be free from surface water flooding for rainfall events greater than the 1 in 200-year event. SPP does not require surface water flooding risk to be considered for events higher than the 1 in 200-year event.

There is a general principle that development should not increase flood risk to others.

There is a presumption against land raising within floodplains. SPP allows this under exceptional circumstances only, where it is shown to have a neutral or better impact on flood risk outside the raised area (with the provision of compensatory flood storage). SPP does not specify exceptional circumstances and provides local authorities with some interpretation in this area.

2.1.2 National Planning Framework 4 (NPF4)

Under NPF4 Flood Risk Management requires explicit consideration of climate change, consistent with the key over-arching policies of NPF4, for example;

Climate mitigation and adaptation – Policy 2

Under 2b) NP4 notes ‘Development proposals will be sited and designed to adapt to current and future risks from climate change’

In addition, development leading to improvements to channels and river habitats should be encouraged as shown by;

Biodiversity – Policy 3

Under 3a NPF4 notes ‘Development proposals will contribute to the enhancement of biodiversity, including where relevant, restoring degraded habitats and building and strengthening nature networks and the connections between them. Proposals should also integrate nature-based solutions where possible’

Furthermore, numerous policies point towards assisting in the re-development of brownfield and other previously developed sites.

In terms of Flood Risk the definition of Flood risk area or at risk of flooding is;

For planning purposes, at risk of flooding or in a flood risk area means land or built form with an annual probability of being flooded of greater than 0.5% which must include an appropriate allowance for future climate change.

This risk of flooding is indicated on SEPA’s future flood maps or may need to be assessed in a flood risk assessment. An appropriate allowance for climate change should be taken from the latest available guidance and evidence available for application in Scotland. The calculated risk of flooding can take account of any existing, formal flood protection schemes in determining the risk to the site.

Where the risk of flooding is less than this threshold, areas will not be considered ‘at risk of flooding’ for planning purposes, but this does not mean there is no risk at all, just that the risk is sufficiently low to be acceptable for the purpose of planning. This includes areas where the risk of flooding is reduced below this threshold due to a formal flood protection scheme.

In contrast to SPP, NPF4 defines a flood risk area as one that lies within the 200-year + climate change floodplain.

Consistent with SPP assessments need to consider flooding from all sources including;

Watercourse/Fluvial Flooding

Pluvial Flooding

Sewer Flooding

Groundwater Flooding

Coastal Flooding

Access to sites during flooding is defined as;

Egress (safe, flood free pedestrian access and egress), A route for the movement of people (not vehicles) of all abilities (on foot or with mobility assistance) between the development and a place of safety outwith the design flood level.

The key policy related to flood risk management is;

Flood Risk and Water Management – Policy 22

Policy Intent – To strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding

a) Development proposals at risk of flooding or in a flood risk area will only be supported if they are for:

- i. essential infrastructure where the location is required for operational reasons;*
- ii. water compatible uses;*
- iii. redevelopment of an existing building or site for an equal or less vulnerable use; or.*
- iv. redevelopment of previously used sites in built up areas where the LDP has identified a need to bring these into positive use and where proposals demonstrate that longterm safety and resilience can be secured in accordance with relevant SEPA advice*

The protection offered by an existing formal flood protection scheme or one under construction can be taken into account when determining flood risk.

In such cases, it will be demonstrated by the applicant that:

- all risks of flooding are understood and addressed;*
- there is no reduction in floodplain capacity, increased risk for others, or a need for future flood protection schemes;*
- the development remains safe and operational during floods;*
- flood resistant and resilient materials and construction methods are used; and*
- future adaptations can be made to accommodate the effects of climate change.*

Additionally, for development proposals meeting criteria part iv), where flood risk is managed at the site rather than avoided these will also require:

- the first occupied/utilised floor, and the underside of the development if relevant, to be above the flood risk level and have an additional allowance for freeboard; and*
- that the proposal does not create an island of development and that safe access/ egress can be achieved.*

b) Small scale extensions and alterations to existing buildings will only be supported where they will not significantly increase flood risk.

c) Development proposals will:

- i. not increase the risk of surface water flooding to others, or itself be at risk.*
- ii. manage all rain and surface water through sustainable urban drainage systems (SUDS), which should form part of and integrate with proposed and existing bluegreen infrastructure. All proposals should presume no surface water connection to the combined sewer;*
- iii. seek to minimise the area of impermeable surface.*

d) Development proposals will be supported if they can be connected to the public water mains. If connection is not feasible, the applicant will need to demonstrate that water for drinking water purposes will be sourced from a sustainable water source that is resilient to periods of water scarcity.

e) Development proposals which create, expand or enhance opportunities for natural flood risk management, including blue and green infrastructure, will be supported

Compared to SPP, it is noted that the concept of the 'functional floodplain' is no longer part of the policies, neither is the discussion of land raising and compensatory storage. From the various policies it would appear that avoidance is the first principle, i.e., no development in areas at risk from the 1 in 200-year + climate change event; but given the focus on brownfield development it would appear NPF4 will give more flexibility for such sites in that the existing floodplain has lesser importance (i.e., no functional floodplain) allowing flexibility in terms of changing the land form within the site to allow development, while promoting natural flood management measures (opening of culverts) and improvements to biodiversity.

For sites close to the coast Policy 10 considers risks from erosion and flooding.

Coastal Development – Policy 10

- a) *Development proposals in developed coastal areas will only be supported where the proposal:*
 - i. does not result in the need for further coastal protection measures taking into account future sea level change; or increase the risk to people of coastal flooding or coastal erosion, including through the loss of natural coastal defences including dune systems; and*
 - ii. is anticipated to be supportable in the longterm, taking into account projected climate change.*
- b) *Development proposals in undeveloped coastal areas will only be supported where they:*
 - i. are necessary to support the blue economy, net zero emissions or to contribute to the economy or wellbeing of communities whose livelihood depend on marine or coastal activities, or is for essential infrastructure, where there is a specific locational need and no other suitable site;*
 - ii. do not result in the need for further coastal protection measures taking into account future sea level change; or increase the risk to people of coastal flooding or coastal erosion, including through the loss of natural coastal defences including dune systems; and*
 - iii. are anticipated to be supportable in the long-term, taking into account projected climate change; or*
 - iv. are designed to have a very short lifespan*
- c) *Development proposals for coastal defence measures will be supported if:*
 - i. they are consistent with relevant coastal or marine plans;*
 - ii. nature-based solutions are utilised and allow for managed future coastal change wherever practical; and*
 - iii. any in-perpetuity hard defense measures can be demonstrated to be necessary to protect essential assets.*
- d) *Where a design statement is submitted with any planning application that may impact on the coast it will take into account, as appropriate, long-term coastal vulnerability and resilience*

2.2 Local Authority Policy and Guidance with Respect to Flood Risk

Fife Council (FC) adopted FIFEplan (Fife’s Local Development Plan) in September 2017, which can be found here:

<https://www.fife.gov.uk/kb/docs/articles/planning-and-building2/planning/development-plan-and-planning-guidance/local-development-plan-fifeplan>.

FIFEplan sets out the planning policies for the development of land across Fife, including one on flooding and the water environment (Policy 12).

The document stipulates that “Development which has a detrimental impact on a functional floodplain will not be supported. However, some areas of the functional flood plain are already developed and so new development in the functional floodplain will require to be assessed against advice and the flood risk framework in Scottish Planning Policy. In applying this policy, the Council expects that new development will not result in an increase in the vulnerability of a site to flooding”

The policy also makes recommendations with respect to the water environment stating that “To minimise or avoid a detrimental impact on ecological quality of the water environment, development proposals should demonstrate that they are designed and managed in a manner that will, wherever possible, leave

ecological quality of the water environment in its natural state for example, avoiding engineering activities such as culverts, bridges, watercourse diversions, bank modifications, or dams.”

In considering development proposals in coastal areas, regard should be given to the Council's Shoreline Management Plan which identifies preferred defence options along Fife's coast. It takes into account natural coastal processes, the need for coastal defence, environmental considerations, and planning issues. Development proposals in coastal areas will also be required to demonstrate that they will not be at risk from coastal erosion themselves and will not significantly alter the existing coastal processes, either erosive or accretive.

Fife Council also prepare guidance documents, the most relevant for flooding is the “DESIGN CRITERIA GUIDANCE ON FLOODING AND SURFACE WATER MANAGEMENT PLAN REQUIREMENTS”.

[DESIGN-CRITERIA-GUIDANCE-NOTE-ON-FLOODING-AND-SURFACE-WATER-MANAGEMENT-PLAN-REQUIREMENTS-valid-from-01.01.2021.pdf \(fife.gov.uk\)](#)

This guidance document sets out the requirements for Flood Risk Assessments.

The document defines the Floodplain as the land adjacent to a watercourse that would be subject to repeated flooding under natural conditions up to the 0.5% AP (200 year) return period.

The document refers to using SEPA's latest climate change allowances in their “LUPS-CC1-v2” document.

The document also states that the extent of a 1 in 200 year flood event must be a minimum of 300mm below the lowest garden ground level and 600mm below the lowest property finished floor level (FFL).

The document states that there is a presumption against development within a site where flooding occurs during a 1 in 200 year event (plus current allowances for climate change). This suggests that Fife Council expect all development to be located outwith the 200-year plus climate change flood extent. The document states that an FRA should be carried out with reference to CIRIA 624 and in accordance with the Reporting Requirements for Flood Risk Assessments issued by SEPA.

The council operates a self-certification and independent check process.

2.3 SEPA Technical Flood Risk Guidance

SEPA are a statutory consultee to the planning process concerning flood risk. To support its role and to give guidance to practitioners and local authorities SEPA has published a series of guidance documents. The key documents with direct relevance to flood risk assessment are;

1. SEPA (2018a), Flood Risk and Land Use Vulnerability Guidance, July 2018. <https://www.sepa.org.uk/media/143416/land-use-vulnerability-guidance.pdf>
2. SEPA (2019a), *Technical Flood Risk Guidance for Stakeholders - SEPA requirements for undertaking a Flood Risk Assessment*, May 2019. <https://www.sepa.org.uk/media/162602/ss-nfr-p-002-technical-flood-risk-guidance-for-stakeholders.pdf>
3. SEPA (v2, 2022), *Climate change allowances for flood risk assessment in land use planning*, March 2022. https://www.sepa.org.uk/media/426913/lups_cc1.pdf

4. SEPA (2018b), *Land Use Planning System, SEPA Development Plan Guidance Note 2a*, July 2018. <https://www.sepa.org.uk/media/306609/lups-dm-gu2a-development-management-guidance-on-flood-risk.pdf>
5. SEPA (2018c) *Planning Information Note 4: SEPA Position on development protected by a Flood Protection Scheme*. <https://www.sepa.org.uk/media/306610/planning-information-note-4-sepa-position-on-development-protected-by-a-flood-protection-scheme.pdf>
6. SEPA (2020), *SEPA Flood Risk Standing Advice for Planning Authorities*. November 2020. [sepa-flood-risk-standing-advice-for-planning-authorities-and-developers.pdf](https://www.sepa.org.uk/media/306610/sepa-flood-risk-standing-advice-for-planning-authorities-and-developers.pdf)

Reference 1 provides SEPA's assessment of land use vulnerability which allows the identification of the appropriate return period to be considered in any flood risk assessment, based on the type of development proposed.

Reference 2 is a technical guidance document intended to outline methodologies that may be appropriate for hydrological and hydraulic modelling and sets out what information SEPA requires to be submitted as part of a Flood Risk Assessment.

Reference 3 outlines the most recent SEPA guidance in terms of flow, rainfall and sea level uplifts for climate change.

Reference 4 provides additional planning guidance with respect to flood risk.

Reference 5 provides additional planning guidance with respect to built-development behind flood defences.

Reference 6 provides standing advice for developments where SEPA aren't normally consulted, such as surface water only modelling and extensions.

In addition, The Water Environment (Controlled Activities) (Scotland) Regulations 2013 (as amended) (CAR) describes requirements for any works at or near watercourses that require licensing. SEPA are responsible for the implementation of the Regulations. SEPA's CAR Practical Guide (SEPA, 2021) provides an overview of the regulations, definition of the regimes, levels of authorisation for activities and outlines the General Binding Rules (GBRs). The latest version of the CAR Practical is available online and is regularly updated (https://www.sepa.org.uk/media/34761/car_a_practical_guide.pdf).

With relevance to all developments, the Regulations include a requirement that surface water discharge must not result in pollution of the water environment. It also makes Sustainable Drainage Systems (SuDS) a requirement for new development, except for runoff from a single dwelling and discharges to coastal waters.

In addition, SEPA (2017) Background Paper on the Water Environment, LUPS-BP-GU2b requires that *"A buffer strip of a minimum of 6m on either side of the watercourse is recommended and should be proportional to the bank width, with wider rivers having a larger buffer strip than a narrow burn."*

SEPA's (2017) table with recommended buffer strip widths is provided below. It is also noted that *"a buffer strip is still required for ditches, however, there is some discretion to reduce the buffer strip to a minimum of 3m depending on requirements for access for maintenance"*

Width to watercourse (top of bank)	Width of buffer strip (either side)
Less than 1m	6m
1-5m	6-12m
5-15m	12-20m
15m+	20m+

2.4 Guidance and Policy Constraints with Relevance to Current Site

Based on relevant policies and guidance the following sections outlines the principles and constraints under which the flood risk assessment is undertaken.

2.4.1 Land Use Vulnerability and Design Event

The proposed development is for the development of a residential unit.

Based on SEPA (2018a), residential accommodation is considered as a 'Highly Vulnerable' use. These developments are considered suitable for land outside the 1 in 200-year floodplain. Fife Council state that there is a "presumption against development within a site where flooding occurs during a 1 in 200 year event (plus current allowances for climate change)".

The development should be designed for the 1 in 200-year event with consideration for climate change.

2.4.2 Constraints on Developable Area

2.4.2.1 Surface Water Flooding

Land affected by surface water flooding can generally be developed assuming the surface water flood risk can be managed through the development of the site drainage system and land drainage to manage surface water entering the site from outside its boundaries. However, in some cases, where sites currently act to store surface water, development could displace surface water and increase flood risk elsewhere. In these cases, there may be a need to leave areas of surface water storage undeveloped and/or provide storage of equivalent volumes of surface water elsewhere in the site.

The assessment will consider surface water flooding risks for the 1 in 200-year event with consideration for climate change.

2.4.3 Climate Change Considerations

The development should be resilient against the impacts of climate change, such that properties are not predicted to flood for the design event plus climate change.

The council guidance recommends using the latest SEPA allowances for climate change.

SEPA (2019a) recommends climate change allowances based on UKCP18. For the study area the impact of climate change is a 39% increase in rainfall total (Tay Basin Region) for watercourses with catchment areas of less than 30km² or 53% for watercourses with catchment areas greater than 50km².

For catchment areas between 30km² and 50km² the highest of the peak rainfall depth and peak river flow should be used.

The assessment will consider increases in flow due to climate change of 39%/53%. It will assess the resilience of the site to the impact of climate change on flows. It is noted that these increases may not be consistent with increases considered by Scottish Water for drainage design.

2.4.4 Development Levels and Finished Floor Levels

SEPA (2019a and 2019b) notes that adequate freeboard should be provided for developments involving the erection of new buildings and in the majority of cases an adequate freeboard allowance would be 600mm above the design flood level (separate to any climate change allowance that may be applied). It is noted that other freeboards can be recommended if supported by appropriate modelling. For re-developments of existing buildings, the freeboard allowance is considered a recommendation and should be applied as far as practicable.

Fife Council also stipulate a 600mm freeboard for Finished Floor Levels (FFLs) with a 300mm freeboard between the flood level and gardens.

The assessment will consider Finished Floor Levels for residential developments based on the 1 in 200-year design flood level. Account for climate change flood will also be included.

2.4.5 Site Access Considerations

It is important that developments can be accessed and left during flood events, so that developments do not form islands within flooded areas.

SEPA (2019b) requires that provision of a safe and flood free route during the design event for any development that introduces overnight accommodation onto a site, which enables the free movement of people of all abilities (on foot or with assistance) both to and from a secure place that is connected to ground above the design flood level and/or wider area. This refers to river or coastal flooding.

During extreme events there will be surface water flooding on most roads if the event is higher than design conditions. SEPA do not provide site-specific guidance for surface water flooding. When considering surface water flooding, local councils generally look for 'safe' access to a site, where flood depths are less than approx. 0.3m. However, these requirements vary depending on the size and nature of the site, and the type of development.

Access requirements with respect to flooding will be considered in this assessment.

It is noted that this assessment can only consider the local access restrictions to the site and cannot consider wider, regional access issues, e.g., access to hospitals remote to the site. These wider access issues need to be considered by the appropriate local authority within local plans.

2.4.6 Other Flooding Risks

2.4.6.1 Coastal Flooding

The Firth of Forth lies approximately 190m to the south-west of the site at its closest. The Firth of Forth is tidal within the reach close to the site and the flood risk will be considered as part of this assessment.

2.4.6.2 Reservoir Flooding

The flood risk from reservoir failure is given considered in **Section 6.5.1**.

2.4.6.3 Site Drainage and Sewer Flooding

The design of the site drainage system will be undertaken by others.

2.4.6.4 Culverts and Watercourses

Local Authorities require that existing access points/routes to culverts and watercourses are maintained or repositioned in agreement with the council's Flood Team. The council also reserves the right to request the construction of additional access points/routes to a watercourse to enable the council to meet its statutory responsibilities.

There are not thought to be any watercourses running through the site.

2.4.6.4 Existing Flood Defences

SEPA (2019b) provides guidance with respect to development behind flood prevention schemes.

This site is not thought to be protected by any existing formal flood defences.

2.4.6.5 Canal Flooding

Canals in Scotland are operated and managed by Scottish Canals. Failures and overtopping of canals are rare and areas at risk are generally known by Scottish Canals who should be consulted for developments located close to any canal.

The development does not lie close to any canals and the site is not considered to be at risk of flooding from canals.

2.4.6.6 CAR Regulations

Any crossings or changes to watercourses within the site may require a CAR licence. CAR licences are not required as part of a planning application and are generally conditioned as part of a planning consent. However, during the planning process sufficient information should be provided in a planning application so SEPA can identify whether it is likely that a CAR licence would be granted.

There are not thought to be any watercourses running through the site.

3 Site Description & Study Background

3.1 Site Description

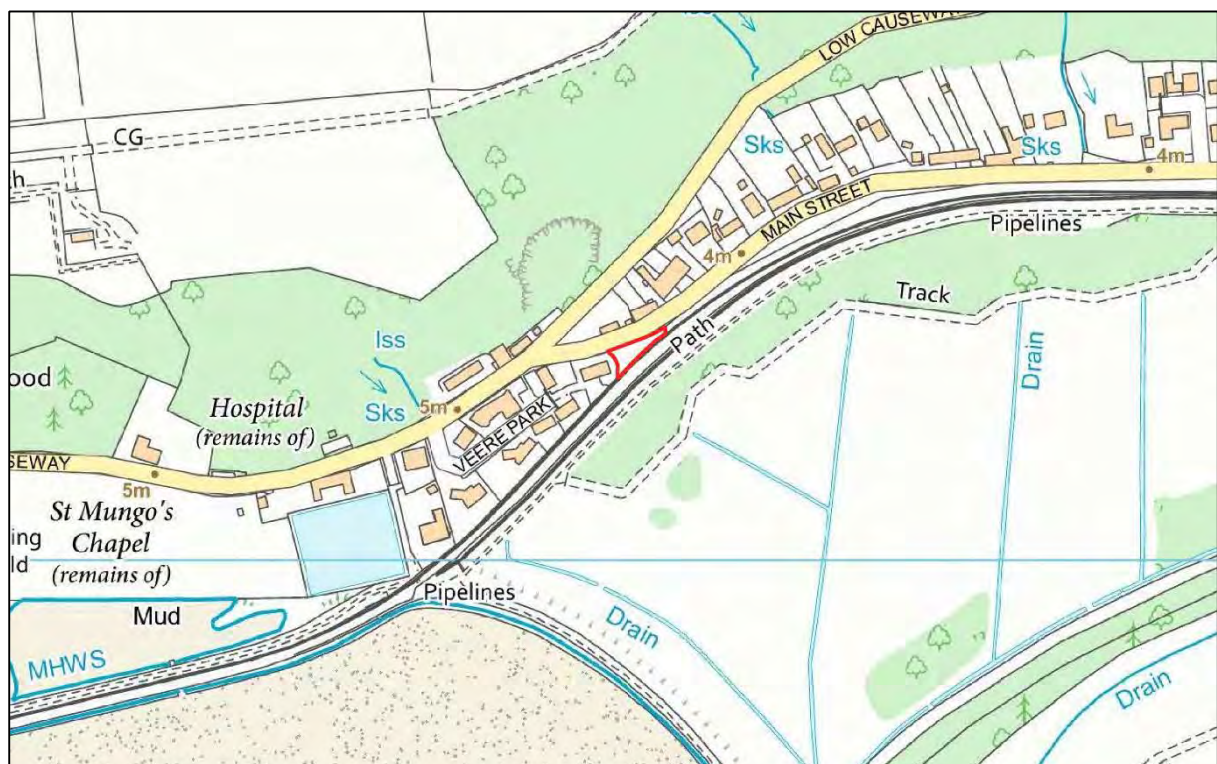
The site is currently undeveloped and was formally part of the grounds of 6 Veere Park. The development proposals are for a single, residential dwelling.

The site measures approximately 420m² and is bounded to the north by Main Street and some residential properties; to the east by a railway line and footpath; to the south by land formed from outputs from the Longannet Power Station and to the west by existing residential properties on Veere Park.

The Firth of Forth lies approximately 190m to the south-west of the site at its closest. There is a small burn, named Burn 1 in this report, that drains parts of Kirkbrae Wood to the north of the site. This is thought to be culverted under Low Causeway.

The site boundary is shown in **Figure 2**. The site is shown in **Photos 1 & 2**.

Figure 2: Site Boundary (red)



3.2 Topography

Ground levels in the site and the surrounding area, derived from the latest LiDAR DTM data, are represented in **Figure 3**. 1m contours are marked on this figure. A more detailed representation of ground levels within the site are provided in **Figure 4**, providing 0.1m contours, again derived from LiDAR.

Ground levels within this part of Culross/Low Valleyfield consist of a low-lying plateau and so are relatively flat, varying between highs of approximately 7mAOD and lows of approximately 4mAOD. Ground levels generally slope to the south towards the River Forth. Further to the north ground levels rise steeply up towards High Valleyfield rising to ground levels of over 60m AOD. Rising ground levels to the north of the site can be seen in **Photo 2**. **Photo 3** shows the flat area to the south of the railway line

Ground levels within the site lie between approximately 4.8m AOD and 4.4m AOD. They are generally slightly lower than the surrounding ground levels on Main Street and the railway line to the south.

Figure 3: Hill shading of the site with 1m Contours based on LiDAR

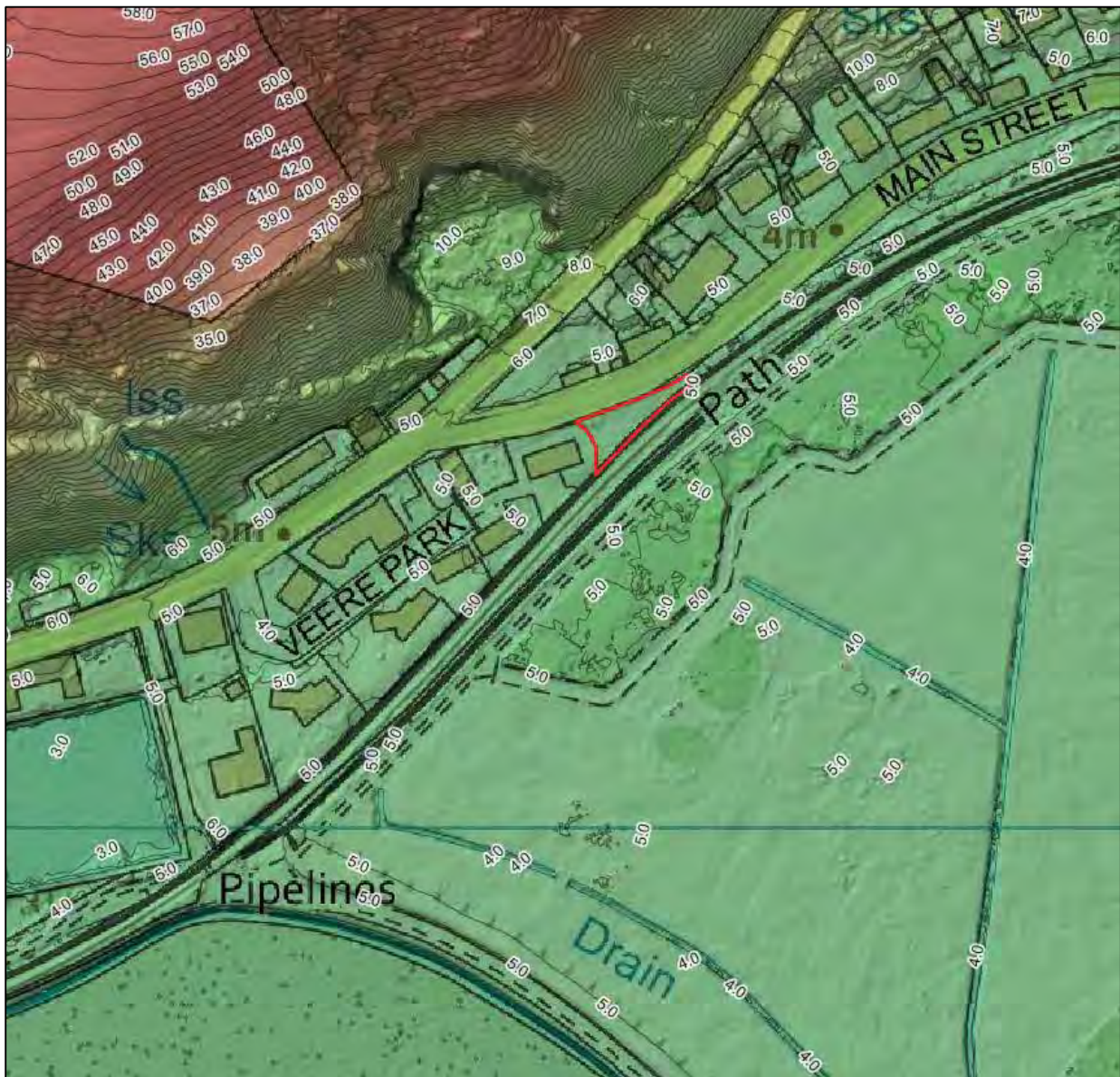


Figure 4: 0.1m contours and hill shading showing ground levels within the site



3.3 Watercourses & Water Features

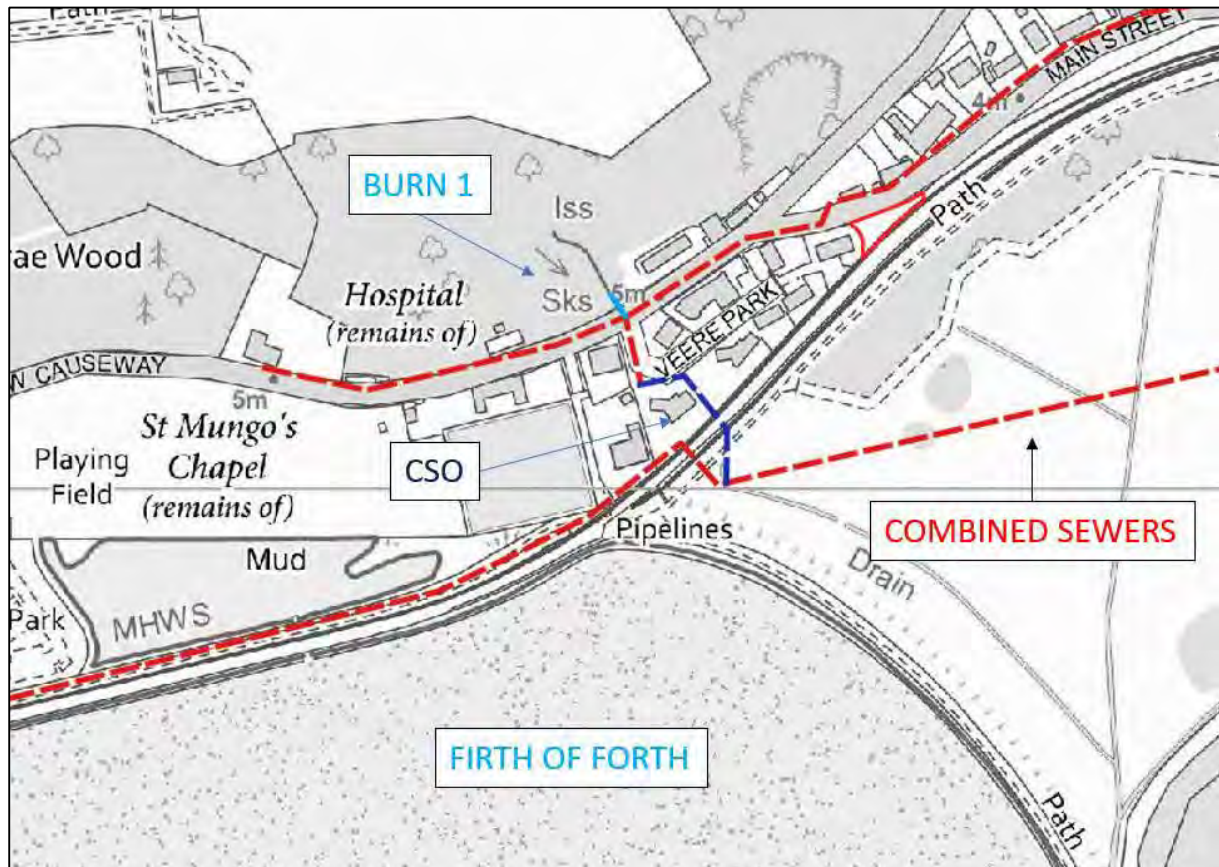
The **Firth of Forth (Photo 4)** lies approximately 190m to the south-west of the site at its closest. The River Forth is tidally-influenced in this part of its reach.

Burn 1 drains parts of Kirkbrae Wood to the north of the site. This is an ephemeral feature and was not flowing during the site visit (**Photo 5**). It is culverted to the south under Low Causeway via a culvert of approximately 0.9m wide by 0.7m high, with a trash screen (**Photo 6**). The exact route of the culvert is unknown, with Fife Council unable to confirm its route. Scottish Water Plans suggest that the watercourse drains into the combined sewer network on Low Causeway. Scottish Water Plans suggest there is a Combined Sewer Overflow (CSO) that discharges into an open drain to the south of Vere Park House (11). An outfall in this location was not identified during the site visit. Scottish Water Plans do show a second combined sewer running along the coastline taking flows towards the east. It may be that flows are discharged to this location.

Due to the small catchment draining to Burn 1 and the fact the watercourse is ephemeral and is thought to drain into the Scottish Water Network this will be assessed as part of the surface water flood risk.

Key watercourses are shown in **Figure 5**.

Figure 5: Watercourses & Other relevant features (Only key sewers shown)



3.4 Historical Flood Search & Consultation

A review of the British Hydrological Society (BHS) Chronology of British Hydrological Events website was undertaken searching for the following keywords and variations: "Culross", "Low Valleyfield", "Kirkbrae" and "St Mungos". Searched keywords refer to nearby locations.

References for "Valleyfield" yielded a result but this referred to an area in Penicuik and was discounted. No other references were identified.

A thorough internet search was also conducted to highlight any history of flooding in and around the surrounding area and the site.

A number of references to flooding in Culross were identified. A number of websites refer to a flood in August 2019 at Culross due to "torrential rain". The articles refer to flooding of Culross Palace and the fire service attending to pump away water from houses. A photo of the aforementioned fire engine appears to show the service attending at one of the newer houses located between Culross Primary School and the Culross East Car Park. The links to the articles are provided below.

(<https://www.thescottishsun.co.uk/tvandshowbiz/4595333/scottish-weather-outlander-culross-palace/> & <https://www.edinburghlive.co.uk/news/edinburgh-news/outlander-culross-palace-fife-flooding-16739416>)

The Central Fife Times also refers to flooding of streets in Culross as part of an article on flooding across Fife in June 2021. The article does not provide specifics about where flooding occurred. (<https://www.centrafifetimes.com/news/19355213.majority-flood-hit-streets-fife-yet-investigated/>)

The SEPA Potentially Vulnerable Area (PVA 10/08) document for this area refers to Culross as being at risk of flooding from coastal sources.

A review of historic maps was undertaken as part of this assessment to identify relevant changes over time. Historic maps suggest that the site will have historically been located immediately adjacent to the open waters of the Firth of Forth. In the early 1900's the Kincardine to Dunfermline Railway line was constructed immediately to the south, presumably by raising ground levels in this area. The Veere Park housing development to the west of the site sits on the location of the former Culross Railway Station and siding, which also appears to have been reclaimed from the Firth of Forth. Later the Torry Bay Local Nature Reserve Ash Lagoons were constructed to the south of the site to manage the resulting ash from the Kincardine & Longannet Power Stations.

Fife Council were consulted to support this Flood Risk Assessment. They responded to say they do not hold much information covering this area.

Fife Council are thought to have commissioned a Flood Study covering Culross. However, Fife Council did not mention this in their response suggesting the study is not yet completed, is not available or does not extend to the site area in question.

Photo 1: Site looking from eastern boundary towards the west



Photo 2: Site looking from south of the railway line in a northerly direction



Photo 3: Flat area to the south of the site looking west



Photo 4: Firth of Forth to the south of the site looking south-east



Photo 5: Burn 1 in Kirkbrae Wood looking north showing steep channel (dry channel)



Photo 6: Culvert Inlet on Burn 1 showing debris and trash-screen



4 Flood Risk Assessment

The flood risk assessment considers the risk from:

- Firth of Forth
- Burn 1
- Surface Water Flooding
- Groundwater flooding
- Infrastructure
- Safe Access

4.1 Firth of Forth (Fluvial & Coastal)

The **Firth of Forth** lies approximately 190m to the south-west of the site at its closest. Peak water levels are controlled by coastal influences such as tides and storm surges.

The current best source of Extreme Sea Level predictions can be obtained from the Coastal Flood Boundary (CFB) dataset provided by SEPA for Scotland and the EA/NRW in England and Wales.

The closest extreme sea level prediction in the dataset is the 'Estuary_Main_3416_22' data point, which lies immediately to the south of the site and the Torryburn Bay Nature Reserve. This is the most representative point to use for this study.

Extreme Sea Levels from the dataset and for the site are provided in **Table 1**.

Table 1: Firth of Forth Extreme Sea Levels adjacent to the site (CFB)

Point	200 Year	200 Year + 0.86m Climate Change
Estuary_Main_3416_22	4.56m AOD	5.42m AOD

The climate change increase to sea level (for 2100) is obtained from SEPA's "Climate change allowances for flood risk assessment in land use planning" guidance. The relevant uplift is 0.86m for the "Forth" Basin Region. This tends to be more conservative than extracting the data from the UKCP18 UI portal, but the difference is usually pretty minimal.

These water levels were overlain against the LiDAR DTM data. The 1 in 200-year Flood Map is provided in **Figure 6**. The 1 in 200-year plus climate change flood map is provided in **Figure 7**.

The results suggest the site lies outwith the predicted 1 in 200-year water level, but flooding of the site could occur in the 1 in 200-year plus climate change scenario. Land within the site sits lower than the 200-year extreme sea level, but the railway line sits higher than the 200-year level. The railway would be overtopped for the 1 in 200-year plus climate change flood level and much of Culross will be flooded.

Fife Council (and the new NPF4 guidance which is due to come into effect in February 2023) recommend that all development is located outwith the 1 in 200-year plus climate change flood extent. This appears to be difficult to achieve for this site. It is therefore recommended that the development proposals are discussed with the Fife Council flood team.

If development is permissible, Finished Floor Levels should be raised a minimum of 0.6m above the 1 in 200-year plus climate change water level, giving a Finished Floor Levels of 6.02m AOD.

Figure 6: 1 in 200-year Flood Extent (Forth)

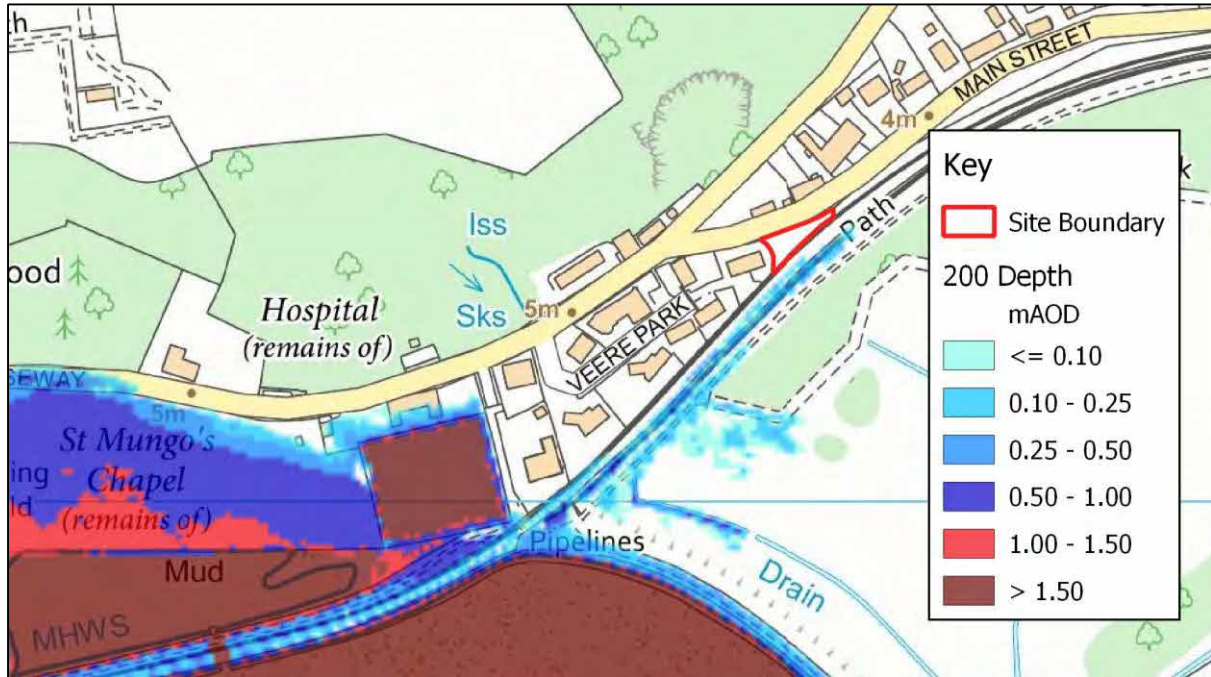
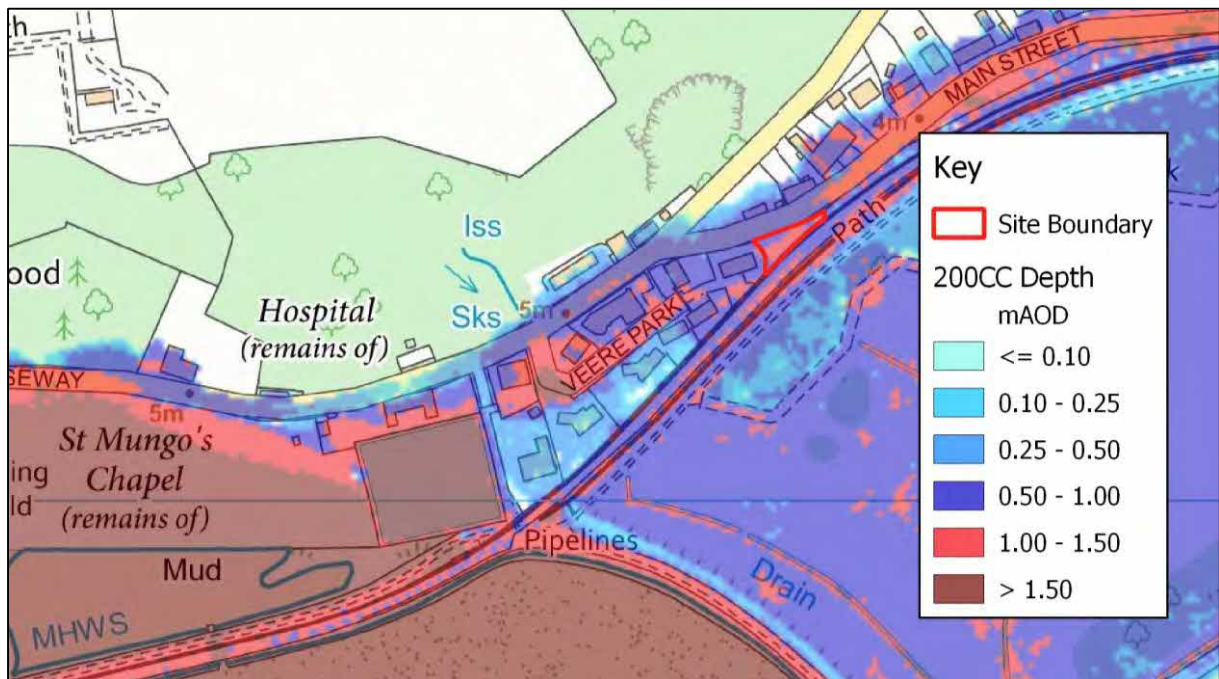


Figure 7: 1 in 200 + CC Flood Extent (Forth)



4.2 Surface Water Flooding

The site lies close to the Firth of Forth with areas to the north of the site sloping towards the site. A surface water assessment will identify risk posed by surface water that could originate to the north of the site and flow towards the site. This also covers the flood risk from Burn 1 and other small drains that exist in this area.

To better represent the local surface water flood risk a 2D rainfall-runoff model was setup based on LIDAR, using the standard SEPA approach for surface water modelling. No allowance was made for the local drainage system.

The run was undertaken for a 1-hour rainfall event. A 2m grid resolution was used for the modelling.

The results for the 1 in 200-year scenario are provided in **Figure 8**. The results for the 1 in 200-year plus climate change scenario are provided in **Figure 9**.

The results of the modelling for the 1 in 200-year scenario predict surface water ponding on Veere Park and along parts of Main Street. Some minor flooding within the site is predicted but this originates from within the site itself. In a 1 in 200-year plus climate change event some additional flooding is predicted on Veere Park and along parts of Main Street. Some minor surface water flooding within the site is predicted but this again originates from within the site. It should be noted that the local drainage network is not represented in the surface water model and some of the predicted flooding would likely be managed by the drainage network.

The results of the modelling also serve to show where flooding would occur from the nearby small watercourses, such as Burn 1. These are small, ephemeral features that respond in the same manner as surface water.

The results of the modelling do not identify a significant flood risk to the site from surface water or small watercourses. However, there is always a residual surface water flood risk. To mitigate against the residual surface water flood risk, it is recommended that careful levels design is employed to shed surface water away from the proposed development. Finished Floor Levels of the development should be raised above the surrounding ground levels, where possible.

Figure 8: 1 in 200-year Surface Water Flood Map

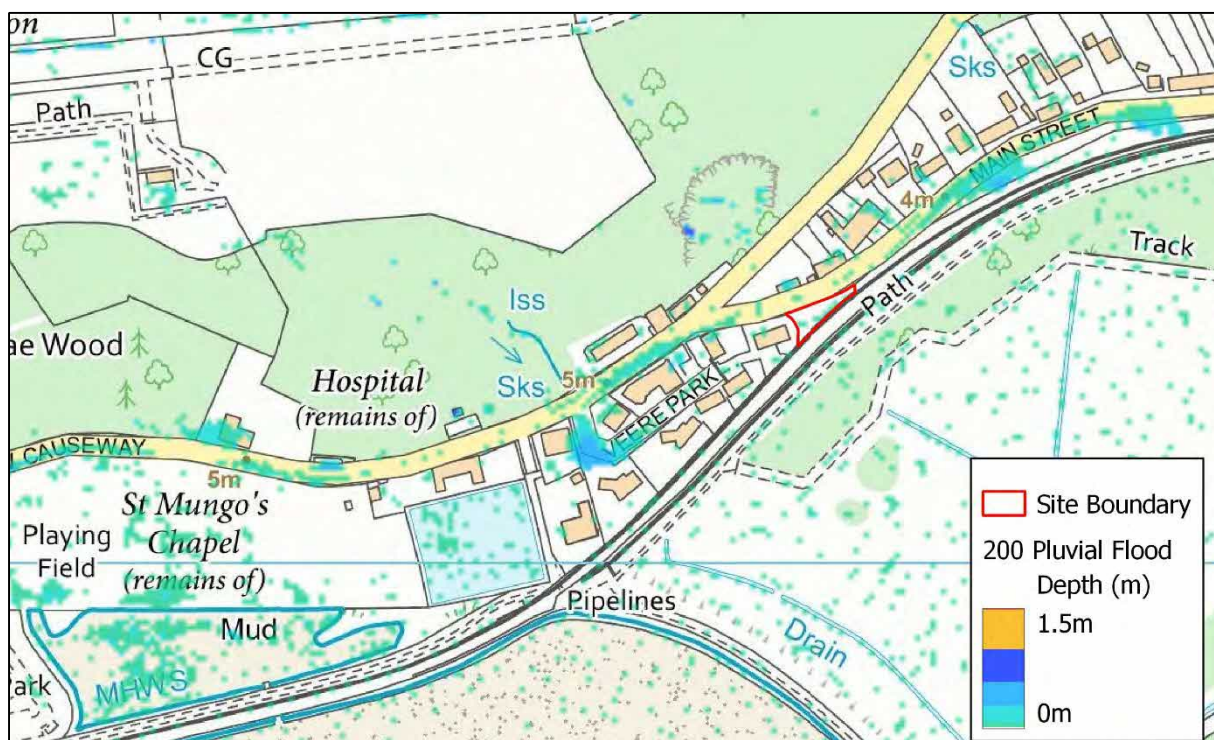
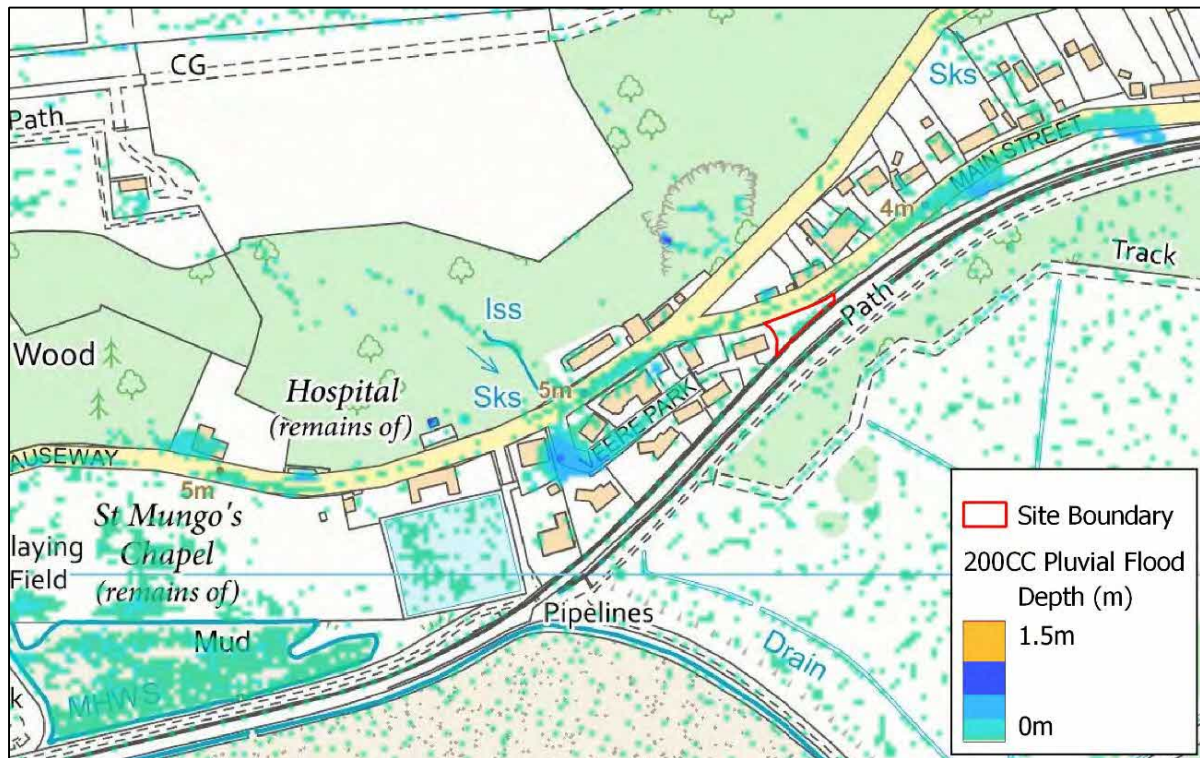


Figure 9: 1 in 200-year plus climate change Surface Water Flood Map



4.3 Groundwater Flooding

The SEPA Flood Map suggests that the site and the immediately surrounding area lies within an area of “low” risk of groundwater flooding. Flooding from groundwater as a primary source is uncommon in Scotland, with groundwater levels in the area likely controlled by levels in the Firth of Forth.

It is recommended that groundwater monitoring is undertaken as part of the geotechnical investigation. If it is determined that there is a high groundwater table in this area suitable mitigation measures should be employed to mitigate against the risk from flooding. Alterations to foundations may be necessary if the groundwater table is high.

4.4 Flooding from Infrastructure

4.4.1 Reservoirs & Flood Defences

According to the SEPA Reservoir Map this part of Culross is potentially at risk of flooding from the Craiguscar East & West reservoirs, in the event of a breach/dam failure. The site appears to lie right on the edge of the area of predicted flooding.

Reservoirs are subject to strict regulation and maintenance in Scotland according to their risk category. The risk of failure is normally considered to be low.

The site is therefore considered to be at a low risk of flooding from reservoir breach or failure or from flood defence failure.

4.4.2 Proposed Drainage System

The design of the proposed site drainage system is not part of this commission. However, as part of the development of the site a suitable drainage system should be developed to prevent flooding from rainfall landing on the site. It is normally recommended that surface water runoff from the site is attenuated to greenfield rates, although this is not always required for single dwelling developments. This should be discussed with the local council and Scottish Water, where relevant.

Discussion of the management of surface water flooding is provided in **Section 4.2**.

4.5 Site Access

Safe access and egress should be provided to the site during extreme flood events so that visitors and residents can be safely evacuated without any undue risk to life.

Fife Council's guidance (*Design Criteria Guidance On Flooding And Surface Water Management Plan Requirements 2.1 2022*) states that "dry pedestrian access must be maintained at all times during events up to the 1 in 200 year return period plus climate change (39%). Where flooding is predicted on the road this must be no greater than 300mm depth of ponding to permit access by emergency vehicles". This is located within the Surface Water Management Plan chapter of the guidance document meaning this requirement likely only refers to surface water flooding.

The results of the surface water modelling predicts some flooding along Main Street and Low Causeway. However, the route leaving the site via Main Street to the west and then heading north-east along Low Causeway provides a route with only limited surface water flooding in a 1 in 200-year plus climate change event, with flood depths not predicted to exceed 0.2m along the route, within the modelled area.

Flood predictions for the Firth of Forth do not predict flooding of the access in a 1 in 200-year event but do predict flooding of the site and the access in the 1 in 200-year plus climate change event.

5 Summary and Conclusions

Kaya Consulting was commissioned by AS Associates Ltd to undertake a Flood Risk Assessment for a proposed development in Culross, Fife.

The site is currently undeveloped and was formally part of the grounds of 6 Veere Park. The development proposals are for a single, residential dwelling. This will constitute an increase in “Land Use Vulnerability” according to the SEPA guidance.

The flood risk from the Firth of Forth has been considered based on available data. The results suggest the site lies outwith the predicted 1 in 200-year water level but flooding of the site is predicted in the 1 in 200-year plus climate change scenario. Fife Council (and the new NPF4 guidance which is due to come into effect in February 2023) recommend that all development is located outwith the 1 in 200-year plus climate change flood extent. This appears to be difficult to achieve for this site. It is therefore recommended that the development proposals are discussed with the Fife Council flood team. Recommendations for Finished Floor Levels are provided in **Section 4.1**.

A 2D surface water model was developed to represent surface water flooding and Burn 1. The results of the modelling do not identify a significant flood risk to the site from surface water or small watercourses. To mitigate against any residual surface water flood risk, it is recommended that careful levels design is employed to shed surface water away from the proposed development. Finished Floor Levels of the development should be raised above the surrounding ground levels, where possible.

The flood risk posed by groundwater and infrastructure has been considered. Refer to **Sections 4.3** and **4.4** for recommendations.

Safe access and egress are considered in **Section 4.5**. Both pedestrian and vehicular access is predicted to be possible in a 1 in 200-year plus climate change surface water event, but not during an event from the Firth of Forth.

It should be noted that the risk of flooding can be reduced, but not totally eliminated, given the potential for events exceeding design conditions and the inherent uncertainty associated with estimating hydrological parameters for any given site.

SEPA CHECKLIST

SEPA		Flood Risk Assessment (FRA) Checklist		(SS-NFR-F-001 - Version 14 - Last updated 28/05/2019)	
<p>This document must be attached within the front cover of any Flood Risk Assessments issued to Local Planning Authorities (LPA) in support of a development proposal which may be at risk of flooding. The document will take only a few minutes to complete and will assist SEPA in reviewing FRAs, when consulted by LPAs. This document should not be a substitute for a FRA.</p>					
Development Proposal Summary					
Site Name:	Main Street, Culross				
Grid Reference:	Easting: 299498	Northing: 686143			
Local Authority:	Fife Council				
Planning Reference number (if known):					
Nature of the development:	Residential	If residential, state type: 1 house			
Size of the development site:	420m ²				
Identified Flood Risk:	Source: Coastal	Source name: Firth of Forth			
Land Use Planning					
Is any of the site within the functional floodplain? (refer to SPP para 255).	No	If yes, what is the net loss of storage?		N/A	m ³
Is the site identified within the local development plan?	No	Local Development Plan Name:		Year of Publication:	
If yes, what is the proposed use for the site as identified in the local plan?	Based from LUP	Allocation Number / Reference:			
Does the local development plan and/or any pre-application advice, identify any flood risk issues with or requirements for the site.	No	If Other please specify:			
What is the proposed land use vulnerability?	Highly Vulnerable	If so, please specify:			
Do the proposals represent an increase in land use vulnerability?	Yes				
Supporting Information					
Have clear maps / plans been provided within the FRA (including topographic and flood inundation plans)?	Yes				
Has sufficient supporting information, in line with our Technical Guidance, been provided? For example: site plans, photos, topographic information, structure information and other site specific information.	Yes				
Has a historic flood search been undertaken?	Yes	If flood records in vicinity of the site please provide details:		See Report	
Is a formal flood prevention scheme present?	No	If known, state the standard of protection offered:		N/A	
Current / historical site use:	former garden				
Is the site considered vacant or derelict?	No				
Development Requirements					
Freeboard on design water level:	0.6 m				
Is safe / dry access and egress available?	Select from List	See report	Min access/egress level:		
Design levels:	Ground level:	see report	m AOD	Min FFL:	m AOD
Mitigation					
Can development be designed to avoid all areas at risk of flooding?	Yes	under SPP			
Is mitigation proposed?	Yes				
If yes, is compensatory storage necessary?	No				
Demonstration of compensatory storage on a "like for like" basis?	No				
Should water resistant materials and forms of construction be used?	No				

SEPA Scottish Environment Protection Agency		Flood Risk Assessment (FRA) Checklist		SS-NFR-F-001 - Version 14 - Last updated 28/05/2019	
Hydrology					
Is there a requirement to consider fluvial flooding?	No	CFB for Firth of Forth		Is a map of catchment area included in FRA?	No
Area of catchment:	11	km ²		If Pooled analysis have group details been included?	No
Estimation method(s) used (please select all that apply):	<input checked="" type="checkbox"/> Pooled Analysis <input type="checkbox"/> Simple Site Analysis <input type="checkbox"/> Enhanced Simple Site <input checked="" type="checkbox"/> R&FMC <input checked="" type="checkbox"/> FEH RRAM <input type="checkbox"/> Other			If other (please specify methodology used):	
Estimate of 200 year design flood flow:	17.8	m ³ /s		Method:	Other
Qmed estimate:	N/A	m ³ /s		Reasons for selection:	
Statistical Distribution Selected:	N/A				
Hydraulics					
Hydraulic modelling method:	2D		Software used:	HecRAS	
Number of cross sections:	N/A		If other please specify:		
Source of data (i.e. topographic survey, LiDAR etc):	2m LiDAR DTM		Date obtained / surveyed:		
Modelled reach length:	2750	m	If yes please provide details:		
Any changes to default simulation parameters?			Specify, if combination:		
Model timestep:	1				
Model grid size:	5000	m			
Any structures within the modelled length?	None from List				
Maximum observed velocity:		m/s			
Brief summary of sensitivity tests, and range:			Please specify climate change scenario considered:	Increase in flows of 20%	
variation on flow (%)	20	%			
variation on channel roughness (%)	20	%			
blockage of structure (range of % blocked)		%			
boundary conditions:					
(1) type	Upstream			Downstream	
(2) does it influence water levels at the site?	Flow		Specify if other:	Other	
Has model been calibrated (gauge data / flood records)?	Yes				
Is the hydraulic model available to SEPA?	No				
Design flood levels:	200 year	0.24-3.1	m AOD	200 year plus climate change	0.24-3.3
Cross section results provided?	No				
Long section results provided?	No				
Cross section ratings provided?	No				
Tabular output provided (i.e. levels, velocities)?	No				
Mass balance error:	N/A	0.1	%		
Coastal					
Is there a requirement to consider coastal / tidal flooding?	Yes	for Firth of Forth			
Estimate of 200 year design flood level:	4.58	m AOD			
Estimation method(s) used:	CFB		If other please specify methodology used:		
Allowance for climate change (m):	0.86	m			
Allowance for wave action etc (m):	N/A	m			
Overall design flood level:	5.42	m AOD			
Comments					
Any additional comments:					
Approved by:	Michael Stewart				
Organisation:	Kaya Consulting Ltd.				
Date:	28-Feb-23				
Note: Further details and guidance is provided in 'Technical Flood Risk Guidance for Stakeholders' which can be accessed here: CLICK HERE					

Proposal Details

Proposal Name	100632525
Proposal Description	3316_Clarke_Culross_LRB
Address	
Local Authority	Fife Council
Application Online Reference	100632525-001

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
Location and Block Plan	Attached	A3
Proposed Plans and Elevations	Attached	A1
Coal Report	Attached	Not Applicable
Coal Mining Risk Assessment	Attached	Not Applicable
Flood Risk Assessment	Attached	Not Applicable
Topographical Survey	Attached	Not Applicable
Topographical Survey Photo Presentation	Attached	Not Applicable
Site Plan_Turning Manoeuvres	Attached	A3
Sustainability Checklist	Attached	Not Applicable
Statement of Reasons for Seeking Review	Attached	Not Applicable
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-001.xml	Attached	A0

Agenda Item 5(4)

**Prestonview, 6 Veere Park, Culross,
Dunfermline**

Application No. 22/03236/FULL

Representation(s)

Comments for Planning Application 22/03236/FULL

Application Summary

Application Number: 22/03236/FULL

Address: Prestonview 6 Veere Park Culross Dunfermline Fife KY12 8NE

Proposal: Erection of dwellinghouse with associated access and parking

Case Officer: Emma Baxter

Customer Details

Name: Miss Denise Day

Address: Sea View, 3 Main Street, Low Valleyfield Dunfermline, Fife KY12 8TF

Comment Details

Commenter Type: Neighbour Notified

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I don't object to the building of the house. What I object to is the driveway. The opening of the driveway is placed in a dangerous area. Although the speed limit is 30, drivers do exceed that all the time. Cars and vans are also parked on the opposite side of the road which again makes it dangerous. The cars are parked on the road due to them having no driveway.

I have a 4 year old grandson and even at the moment I worry about his safety in regards to the road and the drivers. Adding this driveway would just make it so much more dangerous for us and our families.

██████████ Main St.
Low Valleyfield
KY12 8TF

To the Planning Officer dealing with the application to build on triangle of ground across the Main St from No 1 Main St which belongs to the Sneddon family.

Thorough investigation is required before decisions can be made about this.

There are condis throughout Main St, in the gardens. People have in the past got in to difficulty because they built over condis and caused flooding. There is a run off in to the piece of ground the application is for and a well. If building work is done there it could cause severe flooding for ourselves and other properties. We have seen this happen over the past 45 years. Planning officers need to carefully investigate and we would want to know the findings. Recently, the Sneddon family at No 1 had to have a bore done in the garden as it had been identified there was a mine shaft. This turned out to be wrong it was a well.

We would also want to know where the access will be to this property.

Yours sincerely
Meggi Dempster and John Gratten

Stephanie Skelly

From: [REDACTED]
Sent: 23 December 2022 08:12
To: Development Central
Subject: RE: Planning Application 22/03236/FULL

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Sirs,

I hope that this mail including a picture gets through any firewalls.

I refer below to photograph 06 – SITE 2 not being typical. Below is another street view showing a bus on the “wrong” side of the road close to the proposed entrance which is more typical, and illustrates the potential safety hazard.



Regards,

David and Marilyn Salmon

From: [REDACTED]
Sent: 23 December 2022 15:47
To: 'development.central@fife.gov.uk' <development.central@fife.gov.uk>
Subject: Planning Application 22/03236/FULL

Dear Sirs,

We wish to object to the proposed development in the plot beside 6 Veere Park on three grounds:

Access/Road Safety

This application changes the vehicle access from previous applications, and we consider it more hazardous than the previous submissions.

- The photograph 06 – SITE 2 included in the submission does not show the typical situation; frequently there are vehicles parked on North side of the road opposite the proposed building site (of course, pavement parking is now illegal). Eastbound vehicles, including buses, often have to cross to the South side of the road at the bend. This is hazardous enough without the complication of an entrance to the new site.

- . We believe that cars will have difficulty in getting in and out of the car park.
- . We cannot see how the car illustrated on the left in the block plan will be able to get out without reversing on to Main Street.

Refuse Collection

We do not see provision for storage of 4 wheelie bins on the building plan. Moreover, we do not see provision for placing the bins out for collection without obstructing the highway.

Ground Area and Character of Area

Previous applications for development on this site (06/00194/WFULL and 15/03743/PPP) have been refused. The decisions phrase concerns about garden / building ratio (for existing number 6 and the new property), proximity to the road, the density being out of character with Veere Park, and building materials more eloquently than we can, and we believe they are still equally valid.

Regards,

David & Marilyn Salmon

Millbreck
■ Veere Park
Culross
DUNFERMLINE
KY12 8NE
UK

This email was scanned using Forcepoint Email filter

Stephanie Skelly

From: [REDACTED]
Sent: 23 December 2022 08:36
To: Development Central
Subject: Planning Application 22/03236/FULL

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Sir

I am the owner of 1 Veere Park Culross.

I am writing advising my concerns / objections pertaining to the proposed dwelling next to 6 Veere Park Culross, opening on to Main Street, Low Valleyfield.

My concerns / objections are as follows:

1. The dwelling to plot ratio is not in compliance with current guidelines.
2. The dwelling does not follow the current building line established for Veere Park.
3. The dwelling appears to be extremely close to both the road and railway tracks.
4. The access / egress to the property is very close to the low causeway junction which is dangerous in itself.
5. The car parking indicated has no turning circle to the access / egress, hence manoeuvres will fully block an already tight road where vehicles park opposite this access / egress. This road is also a main bus route.
6. Road speed must be considered as dangerous for a potentially blind access / egress.
7. The materials of construction are not in-keeping with Veere Park, certain metal cladding also proposed.

Regards
Philip Beardsley

Sent via BT Email App

This email was scanned using Forcepoint Email filter

Agenda Item 5(5)

**Prestonview, 6 Veere Park, Culross,
Dunfermline**

Application No. 22/03236/FULL

Consultee Comments

Friday, 25 November 2022



Local Planner
Fife House
North Street
Glenrothes
KY7 5LT

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Steps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk



Dear Customer,

Prestonview 6 Veere Park, Culross Dunfermline, Fife, KY12 8NE
Planning Ref: 22/03236/FULL
Our Ref: DSCAS-0076962-GRT
Proposal: 22/03236/FULL | Erection of dwellinghouse with associated access and parking | Prestonview 6 Veere Park Culross Dunfermline Fife KY12 8NE

Please quote our reference in all future correspondence

Audit of Proposal

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced. Please read the following carefully as there may be further action required. Scottish Water would advise the following:

Water Capacity Assessment

Scottish Water has carried out a Capacity review and we can confirm the following:

- ▶ There is currently sufficient capacity in the Glendevon Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Waste Water Capacity Assessment

- ▶ There is currently sufficient capacity for a foul only connection in the Valleyfield Waste Water Treatment works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Please Note

- ▶ The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Asset Impact Assessment

Scottish Water records indicate that there is live infrastructure in the proximity of your development area that may impact on existing Scottish Water assets.

The applicant must identify any potential conflicts with Scottish Water assets and contact our Asset Impact Team via [our Customer Portal](#) for an appraisal of the proposals.

The applicant should be aware that any conflict with assets identified will be subject to restrictions on proximity of construction. Please note the disclaimer at the end of this response.

Written permission must be obtained before any works are started within the area of our apparatus

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- ▶ Scottish Water asset plans can be obtained from our appointed asset plan providers:
- ▶ Site Investigation Services (UK) Ltd
- ▶ Tel: 0333 123 1223
- ▶ Email: sw@sisplan.co.uk
- ▶ www.sisplan.co.uk

- ▶ Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Customer Connections department at the above address.
- ▶ If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- ▶ Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.
- ▶ The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.
- ▶ Please find information on how to submit application to Scottish Water at [our Customer Portal](#).

Next Steps:

▶ All Proposed Developments

All proposed developments require to submit a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water via [our Customer Portal](#) prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

▶ Non Domestic/Commercial Property:

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

▶ Trade Effluent Discharge from Non-Domestic Property:

Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such

as car washing and laundrettes. Activities not covered include hotels, caravan sites or restaurants.

- ▶ If you are in any doubt as to whether the discharge from your premises is likely to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found [here](#).
- ▶ Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.
- ▶ For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas, so the development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.
- ▶ The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below or at planningconsultations@scottishwater.co.uk.

Yours sincerely,

Ruth Kerr

Development Operations Analyst

Tel: 0800 389 0379

developmentoperations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."



The Coal
Authority



INVESTOR IN PEOPLE



RTPI
Learning Partner

200 Lichfield Lane
Berry Hill
Mansfield
Nottinghamshire
NG18 4RG

Tel: 01623 637 119 (Planning Enquiries)

Email: planningconsultation@coal.gov.uk

Web: www.gov.uk/coalauthority

For the Attention of: Ms E. Baxter – Case Officer
Fife Council

[By Email: development.central@fife.gov.uk]

30 November 2022

Dear Ms Baxter

PLANNING APPLICATION: 22/03236/FULL

Erection of dwellinghouse and associated access and parking at Prestonview, 6 Veere Park, Culross, Dunfermline, Fife, KY12 8NE

Thank you for your consultation letter of 23 November 2022 seeking the views of the Coal Authority on the above planning application.

The Coal Authority is a non-departmental public body sponsored by the Department of Business, Energy & Industrial Strategy. As a statutory consultee, the Coal Authority has a duty to respond to planning applications and development plans in order to protect the public and the environment in mining areas.

The Coal Authority Response: Substantive Concern

I have reviewed the site location plan, the proposals and the supporting information submitted and available to view on the LPA website. I can confirm that the application site falls within the defined Development High Risk Area.

The Coal Authority's information indicates that the site lies in an area where historic unrecorded underground coal mining is likely to have taken place at shallow depth. Voids and broken ground associated with such workings can pose a risk of ground instability and may give rise to the emission of mine gases.

In addition, the potential zone of influence of an off-site recorded mine entry (shaft, CA ref. 299686-005) encroaches marginally across the northern site boundary. We hold no details of any past treatment of this former coal mining related feature. An untreated or inadequately treated mine entry and its resultant zone of influence pose a significant risk

not only to surface stability but also public safety.

The applicant has submitted some coal mining information to accompany the planning application; such as a Coal Mining Report, Consultants Report or Enviro All in One Report. However, these are factual reports only and this information does not provide any assessment of the potential risks posed to the development proposal by past coal mining activity. The Coal Authority therefore objects to this planning application.

In accordance with the agreed risk-based approach to development management in the defined Development High Risk Areas, the applicant should be informed that they need to submit a Coal Mining Risk Assessment to support this planning application. This assessment should be prepared by a suitably qualified person. Without such a risk assessment, the Coal Authority does not consider that the LPA has sufficient information to determine this planning application.

We take this opportunity to highlight that any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant safety and engineering risks and exposes all parties to potential financial liabilities. The Coal Authority has adopted a policy where, as a general precautionary principle, the building over or within the influencing distance of a mine entry should wherever possible be avoided. Our adopted policy on the matter can be found at:

www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries

We would be pleased to receive for further consultation and comment any additional information submitted by the applicant.

Please do not hesitate to contact me if you would like to discuss this matter further.

Yours sincerely

James Smith

James Smith *BSc. (Hons), Dip.URP, MRTPI*
Planning and Development Manager
General Information for the Applicant

The coal mining information within the Coal Mining Report (such as a Non-Residential Coal Mining Report, an Enviro-All-in-One Report or other factual report) already obtained should be used as the basis for a Coal Mining Risk Assessment Report (CMRA). The CMRA should assess whether or not past mining activity poses any risk to the development proposal and, if necessary, propose mitigation measures to address any issues of land instability. This could include further intrusive investigation on site to ensure that the Local Planning Authority has sufficient information to determine the planning application.

Under the Coal Industry Act 1994 any intrusive activities, including initial site investigation boreholes, and/or any subsequent treatment of coal mine workings/coal mine entries for ground stability purposes require the prior written permission of the Coal Authority, since such activities can have serious public health and safety implications. Failure to obtain permission will result in trespass, with the potential for court action. Application forms for Coal Authority permission and further guidance can be obtained from the Coal Authority's website at:

www.gov.uk/get-a-permit-to-deal-with-a-coal-mine-on-your-property

Disclaimer

The above consultation response is provided by the Coal Authority as a Statutory Consultee and is based upon the latest available coal mining data on the date of the response, and electronic consultation records held by the Coal Authority since 1 April 2013. The comments made are also based upon only the information provided to the Coal Authority by the Local Planning Authority and/or has been published on the Council's website for consultation purposes in relation to this specific planning application. The views and conclusions contained in this response may be subject to review and amendment by the Coal Authority if additional or new data/information (such as a revised Coal Mining Risk Assessment) is provided by the Local Planning Authority or the applicant for consultation purposes.



The Coal
Authority



INVESTOR IN PEOPLE



RTPI
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200 Lichfield Lane
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Tel: 01623 637 119 (Planning Enquiries)

Email: planningconsultation@coal.gov.uk

Web: www.gov.uk/coalauthority

For the Attention of: Ms E. Baxter – Case Officer
Fife Council

[By Email: development.central@fife.gov.uk]

17 January 2023

Dear Ms Baxter

PLANNING APPLICATION: 22/03236/FULL

Erection of dwellinghouse and associated access and parking at Prestonview, 6 Veere Park, Culross, Dunfermline, Fife, KY12 8NE - RECONSULTATION

Thank you for your consultation letter of 12 January 2023 seeking the further views of the Coal Authority on the above planning application.

The Coal Authority Response: Material Consideration

As you are aware, the application site falls within the defined Development High Risk Area. The Coal Authority's information indicates that the site lies in an area where historic unrecorded underground coal mining is likely to have taken place at shallow depth. In addition, the potential zone of influence of an off-site recorded mine entry (shaft, CA ref. 299686-005) encroaches marginally across the northern site boundary.

We previously commented on this application in a letter to the LPA dated 30 November 2022. In this letter, we objected to the application due to the lack of a Coal Mining Risk Assessment to identify and assess the risks posed to the proposed development by coal mining legacy. We are therefore pleased to note that the applicant has now submitted a Coal Mining Risk Assessment report (December 2022, prepared by Earth Environmental & Geotechnical Ltd) in support of their application.

Based on a review of coal mining and geological information, the submitted report acknowledges the presence close to the application site of two recorded mine entries, but is able to conclude that these features are located sufficiently distant from the site to be of no concern to the proposed development.

The report does, however, identify a risk of possible shallow coal mine workings. Accordingly, it goes on to make appropriate recommendations for the carrying out of intrusive ground investigations, in the form of the drilling of boreholes to depths of 30.0m bgl, to prove or disprove the existence of historical workings beneath the site.

The Coal Authority welcomes the recommendation for the undertaking of intrusive site investigations. These should be designed and carried out by competent persons and should be appropriate in terms of establishing the coal-mining legacy present and the risks it may pose to the development.

The results of the investigations should be interpreted by competent persons and used to inform any remedial works and/or mitigation measures that may be necessary to ensure the safety and stability of the proposed development. Such works/measures may include grouting stabilisation works and foundation solutions.

The applicant should note that Permission is required from our Permit and Licensing Team before undertaking any activity, such as ground investigation and ground works, which may disturb Coal Authority property. Any comments that the Coal Authority may have made in a Planning context are without prejudice to the outcomes of a Permit application.

Mine Gas

It should be noted that wherever coal resources or coal mine features exist at shallow depth or at the surface, there is the potential for mine gases to exist. These risks should always be considered by the LPA. The Planning & Development Team at the Coal Authority, in its role of statutory consultee in the planning process, only comments on gas issues if our data indicates that gas emissions have been recorded on the site. However, the absence of such a comment should not be interpreted to imply that there are no gas risks present. Whether or not specific emissions have been noted by the Coal Authority, local planning authorities should seek their own technical advice on the gas hazards that may exist, and appropriate measures to be implemented, from technically competent personnel.

SuDS

Where SuDS are proposed as part of the development scheme consideration will need to be given to the implications of this in relation to the stability and public safety risks posed by coal mining legacy. The developer should seek their own advice from a technically competent person to ensure that a proper assessment has been made of the potential interaction between hydrology, the proposed drainage system and ground stability, including the implications this may have for any mine workings which may be present beneath the site.

The Coal Authority Recommendation to the LPA

The Coal Authority concurs with the conclusions of the Coal Mining Risk Assessment; that coal mining legacy potentially poses a risk to the proposed development and that

investigations are required, along with possible remedial measures, in order to ensure the safety and stability of the proposed development.

As such, should planning permission be granted for the proposed development, we would recommend that the following conditions are included on the Decision Notice:

1. No development shall commence until;

a) a scheme of intrusive investigations has been carried out on site to establish the risks posed to the development by past shallow coal mining activity; and

b) any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.

The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

2. Prior to the occupation of the development, or it being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

The Coal Authority therefore withdraws its objection to the proposed development subject to the imposition of the above conditions. This is our recommendation for condition wording. Whilst we appreciate that you may wish to make some amendment to the choice of words, we would respectfully request that the specific parameters to be satisfied are not altered by any changes that may be made.

Please do not hesitate to contact me if you wish to discuss the above matters further.

Yours sincerely

James Smith

James Smith *BSc. (Hons), Dip.URP, MRTPI*
Planning and Development Manager

General Information for the Applicant

Under the Coal Industry Act 1994 any intrusive activities, including initial site investigation boreholes, and/or any subsequent treatment of coal mine workings/coal mine entries for ground stability purposes require the prior written permission of The Coal Authority, since such activities can have serious public health and safety implications. Failure to obtain permission will result in trespass, with the potential for court action. Application forms for Coal Authority permission and further guidance can be obtained from The Coal Authority's website at: www.gov.uk/get-a-permit-to-deal-with-a-coal-mine-on-your-property

Disclaimer

The above consultation response is provided by The Coal Authority as a Statutory Consultee and is based upon the latest available data on the date of the response, and electronic consultation records held by The Coal Authority since 1 April 2013. The comments made are also based upon only the information provided to The Coal Authority by the Local Planning Authority and/or has been published on the Council's website for consultation purposes in relation to this specific planning application. The views and conclusions contained in this response may be subject to review and amendment by The Coal Authority if additional or new data/information (such as a revised Coal Mining Risk Assessment) is provided by the Local Planning Authority or the Applicant for consultation purposes.

In formulating this response The Coal Authority has taken full account of the professional conclusions reached by the competent person who has prepared the Coal Mining Risk Assessment or other similar report. In the event that any future claim for liability arises in relation to this development The Coal Authority will take full account of the views, conclusions and mitigation previously expressed by the professional advisers for this development in relation to ground conditions and the acceptability of development.



Fife Council
Enterprise, Planning and Protective Services
Kingdom House
Kingdom Avenue
Glenrothes
KY7 5LY

Network Rail
Town Planning
151 St Vincent Street
Glasgow
G2 5NW

Evie Porat
Town Planning Technician

Planning reference: 22/03236/FULL
Case Officer: Emma Baxter

E-Mail:
TownPlanningScotland@networkrail.co.uk

Network Rail ref: 376 2022
14/12/2022

Dear Ms Baxter,

Town and Country Planning (Scotland) Act 1997 (as amended)
Re: Erection of dwellinghouse and associated access and parking at Prestonview 6 Veere Park Culross Dunfermline Fife.

Thank you for consulting Network Rail regarding the above development.

Whilst Network Rail has no issues with the principle of the proposed development, we would have to object to the proposal unless the following conditions were attached to the planning permission, if the Council is minded to grant the application:

1. In relation to the proposed driveway, an assessment for vehicle incursion should be carried out to ensure that there is no potential for vehicles to encroach on to the railway should they collide with the boundary fencing. Where a potential risk of vehicle incursion is identified, appropriate vehicle mitigation design must be submitted to the Planning Authority for review and approval in consultation with Network Rail and the development shall be carried out only in full accordance with such approved details.

Reason: *In the interests of public safety and the protection of Network Rail infrastructure.*

2. The applicant must provide a suitable trespass proof fence of at least 1.8 metres in height adjacent to Network Rail's boundary and provision for the fence's future maintenance and renewal should be made.

Details of the proposed fencing shall be submitted to the Planning Authority for approval before development is commenced and the development shall be carried out only in full accordance with such approved details.

Reason: *In the interests of public safety and the protection of Network Rail infrastructure.*

Network Rail would also recommend that the following matters are taken into account and are included as advisory notes, if granting the application:

No means of access to the railway or any Network Rail asset shall be obstructed at any time during and after the construction of the development.

The proposed development is in a known mining area. The developer should contact the Coal Authority and obtain any necessary permits.

All works must take place outside the track support zone where possible. The applicant must contact Network Rail's Asset Protection Engineers to confirm the distance from the proposed house to the boundary with Network Rail land.

Construction works must be undertaken in a safe manner which does not disturb the operation of the neighbouring railway. Applicants must be aware of any embankments and supporting structures which are in close proximity to their development.

- Details of all changes in ground levels, laying of foundations, and operation of mechanical plant in proximity to the rail line must be submitted to Network Rail's Asset Protection Engineer for approval prior to works commencing on site. Where any works cannot be carried out in a "fail-safe" manner, it will be necessary to restrict those works to periods when the railway is closed to rail traffic i.e. by a "possession" which must be booked via Network Rail's Asset Protection Engineer and are subject to a minimum prior notice period for booking of 20 weeks.

The developer must contact our Asset Protection Engineers regarding the above matters, contact details below:

Network Rail Asset Protection Engineer
151 St. Vincent Street, GLASGOW, G2 5NW
Tel: 0141 555 4352
E-mail: AssetProtectionScotland@networkrail.co.uk

We trust full cognisance will be taken of these comments. We would be grateful if Local Planning Authorities would provide a copy of the Decision Notice.

Yours sincerely,



Evie Porat
Town Planning Technician



Protective Services

**Town and Country Planning (Scotland) Act 1997
Application for Permission to Develop Land**

Response from Environmental Health (Public Protection)

PPT Reference No:	22/16605/CONPLA		
Name of Planning Officer dealing with the matter:	Emma Baxter		
Application Number:	22/03236/FULL		
Proposed Development:	Erection of dwellinghouse with associated access and parking		
Location:	Prestonview 6 Veere Park Culross Dunfermline Fife KY12 8NE		
Date Required By Planning:	---	Decision Notice Required?	---

COMMENTS
<p>Further to your email received on 29 November 2022 regarding the above planning application, I would now highlight the following comments-</p> <p>I observe that the proposal is adjacent to a rail line and road. I am concerned that the proposed development may be subject to elevated levels of noise from these sources. Therefore, before determining the application, it is recommended that the applicant provides the Planner with an acoustic report by a suitably competent person (see note).</p> <p>The report shall</p> <ul style="list-style-type: none"> (i) Determine the existing noise climate (ii) Predict the noise climate in gardens (daytime), bedrooms (night-time) and other habitable rooms of the development (iii) Detail the proposed attenuation/design necessary to protect the amenity of the occupants of the new residences (including ventilation if required).

If levels predicted in the report are unacceptable, it may be necessary to refuse the application. Otherwise, it may be necessary to specify attenuation measures as conditions of consent.

Note

A competent person should undertake any noise survey and developers may wish to contact the Association of Noise Consultants <http://www.association-of-noise-consultants.co.uk> (01736 852958) or the Institute of Acoustics <http://www.ioa.org.uk> (01727 848195) for a list of members.

The REHIS Briefing Note 017 Noise Guidance for New Developments advises that only in exceptional circumstances should satisfactory internal noise levels only be achievable with windows closed and other means of ventilation provided.

Predictions of internal noise levels within noise sensitive premises must be calculated based on an open window scenario. The degree of sound reduction afforded by a partially open window should be taken as 13dB. For the purposes of this guidance exceptional circumstances are considered to be proposals which aim to promote sustainable development and transport within the local authority area and which would provide benefits such as:

- (a) reducing urban sprawl
- (b) reducing uptake of greenfield sites
- (c) promoting higher levels of density near transport hubs, town and local centres
- (d) meeting specific needs identified in the local development plan

Exceptional circumstances will, therefore, generally apply only to sites, which are small to medium in scale, within urban areas. This may include sites in established residential areas; brownfield sites; town and village centres, and sites near public transport hubs.

These comments do not cover Contaminated Land under PAN 33 or Air Quality under PAN 51, the Land & Air Quality Team will provide comment for those issues.

Date:	30/11/2022	Officer:	Tracy A Welch Environmental Health Officer
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FIFE COUNCIL

ROADS AND TRANSPORTATION SERVICES

TO: Planner, Development Management
FROM: Denise Richmond, Structural Services, Flooding, Shoreline & Harbours
DATE: 06 December 2022
OUR REF: DR/22/03236/FULL
YOUR REF: **22/03236/FULL**
CONTACT: Denise Richmond Ext 477003
SUBJECT: **Erection of dwellinghouse and associated access and parking. Prestonview, 6, Veere Park, Culross, KY12 8NE.**

Awaiting Further Information on Flood Risk and Surface Water Management.

I refer to your memo dated 23 November 2022 requesting observations on the application forms and associated plans for the above proposed development and comment only on matters relating to flooding and surface water management.

Our updated guidance on Flooding and Surface Water Management is available to download:

https://www.fife.gov.uk/_data/assets/pdf_file/0012/160122/FC-Flooding-and-SWMP-Guidance-v2.1.pdf

Appendix 8 should be completed for all Full Applications. We would also expect to see:

Flood Risk:

A full FRA will be required for this Application. The FRA should address coastal and surface water flood risk.

Surface Water Management:

An outline drainage plan showing the final discharge point. It should be noted that Scottish Water no longer routinely accept surface water runoff to the combined sewer.

Calculations for attenuation volume required.

SEPA SIA tool to confirm treatment train of runoff.

SuDS design certificate (Appendix 1).

Flooding, Shoreline & Harbours Recommend Refusal Response

Authors:

- Dr Rick Haynes (Lead Consultant – Flooding, Shoreline & Harbours)
- Denise Richmond (Technician Engineer – Flooding, Shoreline & Harbours)

This document is intended to serve as the basis for an explanation as to the Flooding, Shoreline & Harbours (FSH) Team coming to a particular conclusion with regards to flood risk and a Planning Application.

IDOX PA Number	22/03236/FULL
Site Address	Prestonview, 6, Veere Park , Culross
Site Coordinates	686135, 299478
Development Type	Single Dwelling House

Recommendation

Flooding, Shoreline & Harbours **RECOMMEND REFUSAL OF THIS APPLICATION**

Justification for above Recommendation

FSH do not believe that this application satisfies the following legislative requirements:

Legislation	Clause
National Planning Framework 4 (NPF4)	Policy 22
Flood Risk Management (Scotland) Act 2009	56
Flood Risk Management (Scotland) Act 2009	Forth Estuary (LPD) Local Flood Risk Management Plan November 2019. (Hawkhill, Kincardine, Kennet Pans and Culross PVA 10/08

Explanation of Justification

NPF4

We do not believe that this application satisfies Policy 22 of National Planning Framework 4.

Policy 22

a) Development proposals at risk of flooding or in a flood risk area will only be supported if they are for:

- essential infrastructure where the location is required for operational reasons;
- water compatible uses;
- redevelopment of an existing building or site for an equal or less vulnerable use; or,
- redevelopment of previously used sites in built up areas where the LDP has identified a need to bring these into positive use and where proposals demonstrate that long-term safety and resilience can be secured in accordance with relevant SEPA advice.

c) Development proposals will:

- not increase the risk of surface water flooding to others, or itself be at risk.

Flooding, Shoreline & Harbours

Recommend Refusal Response

- ii. manage all rain and surface water through sustainable urban drainage systems (SUDS), which should form part of and integrate with proposed and existing blue-green infrastructure. All proposals should presume no surface water connection to the combined sewer;
- iii. seek to minimise the area of impermeable surface.

The proposal does not qualify as essential infrastructure and the site has not previously been developed. The change of use to residential is an increase in land use vulnerability.

Appropriate SuDS cannot be proposed as the site is currently located on the functional floodplain.

Compensatory storage is not proposed to offset land raised within the functional floodplain.

Promotion of this site would appear to be in contravention of National Planning Framework 4 and cannot, therefore, be supported.

Flood Risk Management (Scotland) Act (2009)

We believe that this application is counter to the Flood Risk Management (Scotland) Act 2009.

Section 56 (General Power to Manage Flood Risk) states:

56 General power to manage flood risk

- (1) A local authority may do anything which it considers—
- (a) will contribute to the implementation of current measures described in any relevant local flood risk management plan,
 - (b) is necessary to reduce the risk of a flood in its area which is likely to—
 - (i) occur imminently, and
 - (ii) have serious adverse consequences for human health, the environment, cultural heritage or economic activity, or
 - (c) will otherwise manage flood risk in its area without affecting the implementation of the measures mentioned in paragraph (a).

The Local Flood Risk Management Plan, PVA 10/08, contains a specific action relating to Planning Policies that states that, “Scottish Planning Policy¹ and accompanying Planning Advice Notes set out Scottish Ministers’ priorities for the operation of the planning system and for the development and use of land. In terms of flood risk management, the policy supports a catchment-scale approach to sustainable flood risk management and aims to build the resilience of our cities and towns, encourage sustainable land management in our rural areas, and to address the long-term vulnerability of parts of our coasts and islands. Under this approach, new development in areas with medium to high likelihood of flooding should be avoided.

Promotion of this site would appear to be counter to this action, and therefore in contravention of the Flood Risk Management (Scotland) Act 2009, and therefore cannot be supported.

Based on the above information, the position of the Flooding, Shoreline and Harbours Team is to recommend to the Planning Team a position of **‘Recommend Refusal’**.

¹ Now subsumed / superseded by National Planning Framework 4.

MEMORANDUM

TO: Emma Baxter, Graduate Planner, Development Management
FROM: Donald Payne, Technical Officer, Land & Air Quality
DATE: 9 December 2022
OUR REF: PC150333C2 **YOUR REF:** 22/03236/FULL
SUBJECT: Erection of dwellinghouse at Prestonview 6 Veere Park Culross

Thank you for your consultation on the above application.

A suspensive planning condition or advice note for contaminated land is recommended.

The site is located on ground reclaimed from the sea when the railway was constructed along the coast, and the southern part was formerly crossed by a railway siding. It is advised that an appropriate contaminated land site-specific risk assessment should be undertaken. In the first instance, this would comprise desk-based research to ensure the site would be developed safely taking into account the proposed new land use.

It is noted a risk assessment for coal mining will also be required. Should this involve intrusive investigation work, a watching brief should be maintained. In the event that any unexpected materials or conditions such as asbestos, hydrocarbon staining, made-ground, gassing, odours or other apparent contamination are encountered during the development process, work should stop and Development Management should be notified. This might necessitate undertaking a suitable site-specific risk assessment for contaminated land.

Should Development Management approve an application for the site, it is advised that the contaminated land condition LQC3 (attached) be utilised to ensure the site would be developed in accordance with the relevant technical guidance including PAN 33.

Please note that we are not qualified to comment on geotechnical matters relating to ground stability or foundation design. This response is from the Land & Air Quality team; our colleagues in Public Protection may submit their own response. Should you require any further information or clarification regarding the above comments, please do not hesitate to contact this office.

Model Planning Conditions for Land Quality

LQC1

NO DEVELOPMENT SHALL COMMENCE ON SITE until the risk of actual or potential land contamination at the site has been investigated and a Preliminary Risk Assessment (Phase I Desk Study) has been submitted by the developer to and approved in writing by the local planning authority. Where further investigation is recommended in the Preliminary Risk Assessment, no development shall commence until a suitable Intrusive Investigation (Phase II Investigation Report) has been submitted by the developer to and approved in writing by the local planning authority. Where remedial action is recommended in the Phase II Intrusive Investigation Report, no development shall commence until a suitable Remedial Action Statement has been submitted by the developer to and approved in writing by the local planning authority. The Remedial Action Statement shall include a timetable for the implementation and completion of the approved remedial measures and a Verification Plan specifying how, when and by whom the installation will be inspected.

All land contamination reports shall be prepared in accordance with CLR 11, PAN 33 and the Council's Advice for Developing Brownfield Sites in Fife documents or any subsequent revisions of those documents. Additional information can be found at www.fife.gov.uk/contaminatedland.

Reason: To ensure potential risk arising from previous land uses has been investigated and any requirement for remedial actions is suitably addressed.

LQC2

NO BUILDING SHALL BE OCCUPIED UNTIL remedial action at the site has been completed in accordance with the Remedial Action Statement approved pursuant to condition. In the event that remedial action is unable to proceed in accordance with the approved Remedial Action Statement — or contamination not previously considered in either the Preliminary Risk Assessment or the Intrusive Investigation Report is identified or encountered on site — all work on site (save for site investigation work) shall cease immediately and the local planning authority shall be notified in writing within 2 working days. Unless otherwise agreed in writing with the local planning authority, development works shall not recommence until proposed revisions to the Remedial Action Statement have been submitted by the developer to and approved in writing by the local planning authority. Remedial action at the site shall thereafter be completed in accordance with the approved revised Remedial Action Statement. Following completion of any measures identified in the approved Remedial Action Statement — or any approved revised Remedial Action Statement — a Verification Report shall be submitted by the developer to the local planning authority.

Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remedial measures for the whole site have been completed in accordance with the approved Remedial Action Statement — or the approved revised Remedial Action Statement — and a Verification Report in respect of those remedial measures has been submitted to and approved in writing by the local planning authority.

Reason: To provide satisfactory verification that remedial action has been completed to the planning authority's satisfaction.

LQC3

IN THE EVENT THAT CONTAMINATION IS ENCOUNTERED that was not identified by the developer prior to the grant of this planning permission, all development works on site (save for site investigation works) shall cease immediately and the local planning authority shall be notified in writing within 2 working days.

Unless otherwise agreed in writing with the local planning authority, development work on site shall not recommence until either (a) a Remedial Action Statement has been submitted by the developer to and approved in writing by the local planning authority or (b) the local planning authority has confirmed in writing that remedial measures are not required. The Remedial Action Statement shall include a timetable for the implementation and completion of the approved remedial measures. Thereafter remedial action at the site shall be completed in accordance with the approved Remedial Action Statement. Following completion of any measures identified in the approved Remedial Action Statement, a Verification Report shall be submitted to the local planning authority. Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remedial measures for the whole site have been completed in accordance with the approved Remedial Action Statement and a Verification Report in respect of those remedial measures has been submitted by the developer to and approved in writing by the local planning authority.

Colin Cowper

From: Andy Forrester
Sent: 20 December 2022 16:41
To: Emma Baxter
Cc: Development Central
Subject: 22/03236/FULL - Erection of Dwelling and Formation of a Vehicular Access at 6 Veere Park, Culross

Afternoon Emma,

Apologies for the delay in responding.

I had hoped to undertake a desk based assessment of this application, however, the restricted size of the Block Plan and the fact it doesn't appear to be to the annotated 1:200 scale means this won't be possible. In addition, the submitted site photos are just a screen grab from Google Streetview which isn't helpful as I am pretty sure the site is different now.

Finally, the proposed parking and turning area looks too tight, as vehicles should be perpendicular to the public road, prior to them leaving the extents of the application site. It doesn't appear that this would be possible within the submitted layout.

I will have to undertake a site visit prior to providing my detailed response and hope to get out on site early in the new year.

Regards

Andy Forrester
Fife Council
Planning Service, Transportation Development Management
3rd Floor West, Fife House
Glenrothes

Colin Cowper

From: Andy Forrester
Sent: 16 January 2023 11:52
To: Emma Baxter
Cc: Development Central
Subject: RE: 22/03236/FULL - Erection of Dwelling and Formation of a Vehicular Access at 6 Veere Park, Culross
Attachments: 2203236full.jpg; 2203236full2.jpg

Morning Emma,

I visited the site on Friday 13th January 2023 and would comment on the proposal as follows.

As per my previous response (below), the site photos are just a screen grab for Google Streetview and don't reflect the current situation on site. I have attached a two of my site photos for your information.

Unfortunately, the proposed Block Plan doesn't appear to be to any recognised scale, so I have used the location plan to assess the proposed vehicular access and parking/turning area. I measured the existing public roadside verge on site and its is approximately 1.5 metres in width, the plan shows a width of approximately 1.9 metres, which is incorrect.

In my previous email, I noted that the proposed parking and turning area looked too tight, as vehicles must be perpendicular to the public road, prior to them leaving the extents of the application site on a road such as Main Street. If the proposed new vehicular access was moved westwards by approximately 7 metres (measured centre point to centre point of the accesses), then this would facilitate the provision of acceptable off-street parking, turning and manoeuvring space for vehicles within a similar arrangement as the proposed layout. I appreciate this will have an impact on the useable back garden area.

The proposed vehicular access shown on Drawing No 3316-PP-002 Rev A is approximately 34 metres East of the 40mph speed limit, however, in order to provide a suitable vehicular access and parking/turning areas etc, the proposed new access would have to be relocated closer to the 40mph limit. Therefore, a 2m x 60m visibility splay in the oncoming direction (east) and 2m x 90m in the other direction (west) must be provided and maintained clear of all obstructions exceeding 600mm in height above the adjoining road channel level, at the junction of the vehicular access and the public road, in accordance with the current Fife Council Making Fifes Places Appendix G. The provision of a 2m x 90m splay in the west direction is necessary as a section of the splay would be within the 40mph limit. The applicant must demonstrate that he could provide these splays within land in his control/the public road boundary and the full extents of these splays must be shown on any revised plan(s) that is submitted showing the alternative vehicular access arrangements. For the avoidance of doubt, the plan must show the splays to a point 90 metres westwards from the access and 60 metres eastwards from the access, therefore, the submitted Block Plan and Location Plan are too small to show this and this would have to be addressed on any revised plan(s).

Forward visibility of 60 metres must be available for a driver turning right into the proposed access from Main Street, in accordance with the current Fife Council Making Fifes Places Appendix G.

I have reviewed the objection comments and note that residents are concerned about the existing on-street parking outside 4, 5 and 6 Main Street in terms of its proximity to the proposed vehicular access. I assessed this one site but in terms of the forward visibility requirements for right turning vehicles, I have to take into consideration that these vehicles are moveable obstructions and won't be parked in this location all of the time.

At present TDM cannot provide a favourable response for the road safety reasons detailed above.

Regards

Andy Forrester
Fife Council
Planning Service, Transportation Development Management
3rd Floor West, Fife House
Glenrothes

From: Andy Forrester
Sent: 20 December 2022 16:41
To: Emma Baxter <Emma.Baxter@fife.gov.uk>
Cc: Development Central <Development.Central@fife.gov.uk>
Subject: 22/03236/FULL - Erection of Dwelling and Formation of a Vehicular Access at 6 Veere Park, Culross

Afternoon Emma,

Apologies for the delay in responding.

I had hoped to undertake a desk based assessment of this application, however, the restricted size of the Block Plan and the fact it doesn't appear to be to the annotated 1:200 scale means this won't be possible. In addition, the submitted site photos are just a screen grab from Google Streetview which isn't helpful as I am pretty sure the site is different now.

Finally, the proposed parking and turning area looks too tight, as vehicles should be perpendicular to the public road, prior to them leaving the extents of the application site. It doesn't appear that this would be possible within the submitted layout.

I will have to undertake a site visit prior to providing my detailed response and hope to get out on site early in the new year.

Regards

Andy Forrester
Fife Council
Planning Service, Transportation Development Management
3rd Floor West, Fife House
Glenrothes





Louise Morrison

From: Andy Forrester
Sent: 30 January 2023 10:21
To: Emma Baxter
Cc: Development Central
Subject: CONS 22/03236/FULL - Erection of Dwelling and Formation of a Vehicular Access at 6 Veere Park, Culross

Morning Emma,

I refer to the revised site layout shown on Drawing No 3316-PP-002 Rev B.

In my previous emails, I advised that the proposed parking and turning areas were unacceptable, as vehicles must be perpendicular to the public road, prior to them leaving **the extents of the application site** on a road such as Main Street. It is disappointing therefore, that the latest plan does not show this with the small car using the public roadside verge prior to being perpendicular to the public road. In addition, the car used is approximately 4 metres in length, a medium sized family car is approximately 4.3m-4.4m in length and a larger family car such as a Ford Mondeo is 4.8 metres in length, therefore, the vehicle used is not an accurate reflection of a standard size of family vehicle.

For the avoidance of doubt, the proposed vehicular access, turning and parking areas are unacceptable, as there is inadequate space for a standard sized family vehicle to safely manoeuvre in and out of the site without having to undertake several convoluted turning manoeuvres all to the detriment of road safety. Sub-standard arrangements such as this increase the likelihood of drivers either reversing out of the access onto the public road or reversing into the access from the public road, due to the turning and manoeuvring areas being challenging to use safely.

This email represents TDM's final response and I recommend the application for refusal in the interests of road safety.

Regards

Andy Forrester
Fife Council
Planning Service, Transportation Development Management
3rd Floor West, Fife House
Glenrothes
Normal working hours Mon to Fri

From: Emma Baxter <Emma.Baxter@fife.gov.uk>
Sent: 27 January 2023 11:26
To: Andy Forrester <Andy.Forrester@fife.gov.uk>
Subject: Re 22/03236/FULL

Hi Andy

Please see attached revised location and block plans for the above application at 6 Veere Park, Culross. In light of the amended drawings can you please advise what TDM's position would be?

Thanks
Emma



Emma Baxter | Graduate Planner | Development Management

Planning Services

LISTEN | **CONSIDER** | **RESPOND**



Laura Robertson

From: Andy Forrester
Sent: 15 March 2023 16:21
To: Emma Baxter
Cc: Development Central
Subject: CONS 22/03236/FULL - Veere Park, Culross

Categories: LR

Apologies for the delaying in responding Emma.

I have reviewed the revised layout shown on Drawing No 3316-PP-004 and still remain of the view that inadequate manoeuvring space has been shown for a vehicle to take egress from the parking space nearest the road (the space to the North of the car numbered 3 on the plan).

The car chosen is approximately 4.3m in length which is acceptable, as its the length of a medium sized family car. However, when you measure the diagonal distance between the front of the northern parking space and the rear of the public road boundary, it scales at approximately 4.3m in length. Therefore, there is inadequate space for a driver to position their vehicle perpendicular to the rear of the public road boundary in one manoeuvre when taking egress from this space.

Therefore, the latest revised site layout is still unacceptable to TDM.

Regards

Andy Forrester
Fife Council
Planning Service, Transportation Development Management
3rd Floor West, Fife House
Glenrothes
Normal working hours Mon to Fri

From: Emma Baxter <Emma.Baxter@fife.gov.uk>
Sent: 15 March 2023 09:36
To: Andy Forrester <Andy.Forrester@fife.gov.uk>
Subject: Re 22/03236/FULL - Veere Park, Culross

Hi Andy

Have you had a chance to take a look at the revised block plan for the above application?

Thanks



Emma Baxter | Graduate Planner | Development Management

Planning Services

LISTEN | **CONSIDER** | **RESPOND**



Agenda Item 5(6)

**Prestonview, 6 Veere Park, Culross, Dunfermline
Application No. 22/03236/FULL**

Further Representation(s)

From: [Andy Forrester](#)
To: [Michelle McDermott](#)
Cc: [Emma Baxter](#); [Steve Jannarelli](#)
Subject: RE: Application Ref. 22/03236/FULL - Prestonview, 6 Veere Park, Culross, Dunfermline
Date: 29 June 2023 10:31:32

Morning Michelle,

I refer to your recent email regarding the above and having read the content of the agent's Notice of Review document, particularly the Response to Reasons for Refusal – Road Safety section, I write to clarify TDM's assessment of the application.

In bullet point 4, the agent has stated that "We understand that the additional drawing, prepared and submitted to illustrate the manoeuvres, had not been review by TDM prior to the decision".

TDM did review the most recent site layout shown on Drawing No 3316-PP-004 and commented that the layout was still unacceptable in my email dated 15/03/23. Although my email dated 15/03/23 forms part of the electronic planning case file, it is marked as sensitive, therefore, the agent would not have been able to review its content on the planning portal. To assist, I have cut and pasted the content of my email dated 15/03/23 below: -

"I have reviewed the revised layout shown on Drawing No 3316-PP-004 and still remain of the view that inadequate manoeuvring space has been shown for a vehicle to take egress from the parking space nearest the road (the space to the North of the car numbered 3 on the plan).

The car chosen is approximately 4.3m in length which is acceptable, as its the length of a medium sized family car. However, when you measure the diagonal distance between the front of the northern parking space and the rear of the public road boundary, it scales at approximately 4.3m in length. Therefore, there is inadequate space for a driver to position their vehicle perpendicular to the rear of the public road boundary in one manoeuvre when taking egress from this space.

Therefore, the latest revised site layout is still unacceptable to TDM."

I trust the above is helpful in clarifying that TDM did assess the latest site layout shown on Drawing No 3316-PP-004.

Thanks
Andy Forrester
Fife Council
Planning Service, Transportation Development Management
3rd Floor West, Fife House
Glenrothes

Agenda Item 5(7)

**Prestonview, 6 Veere Park, Culross, Dunfermline
Application No. 22/03236/FULL**

Response to Further Representations

Erection of dwellinghouse with associated access and parking

Prestonview, 6 Veere Park, Culross, Dunfermline

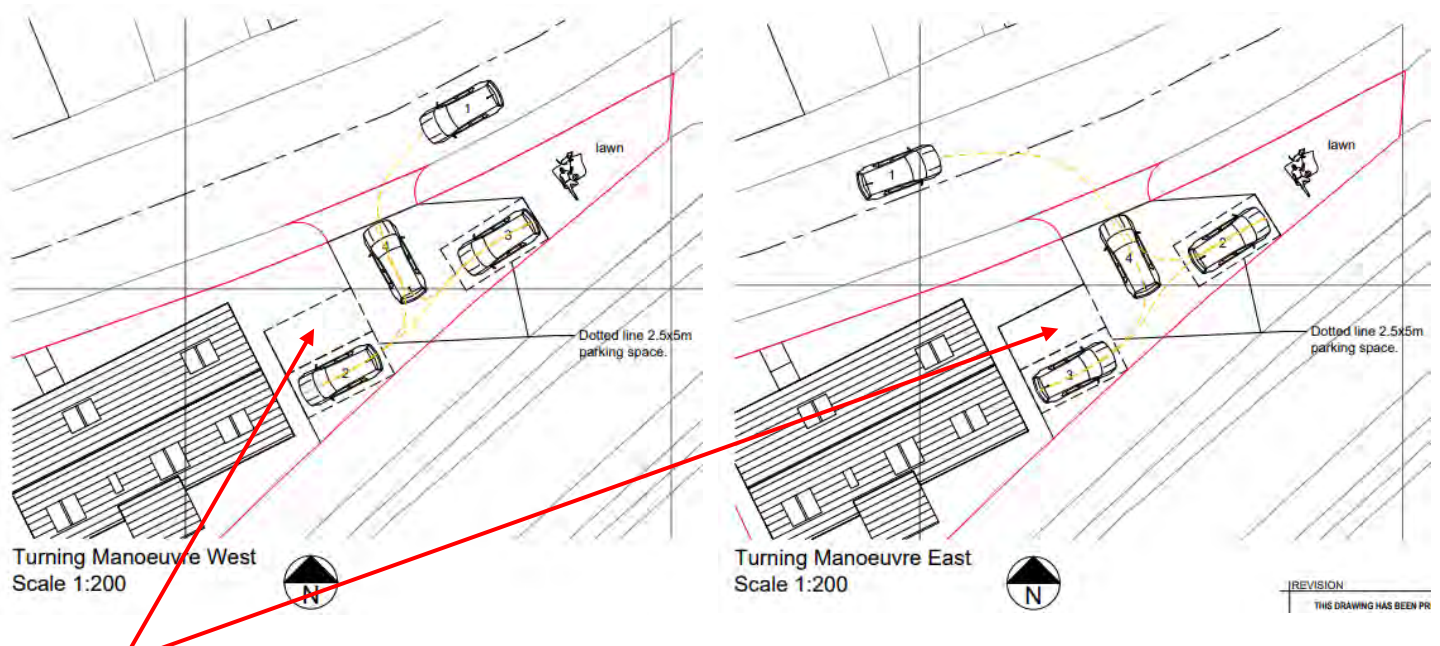
Response to representation from Transportation Development Management (TDM)

The following comments are submitted:

- TDM comments that the car illustrated, a medium sized family car 4.4m in length, would not be able to satisfactorily egress the site from the parking space (adjacent to the house and nearest the road) in **one** manoeuvre.

In response:

- Three parking spaces are shown, as the submitted drawing shows the property as 3 bedrooms. However, the house is, practically, a small one-bedroom retirement home, with the very small rooms in the attic space (only with rooflights) most likely to provide storage, office, or hobby room space. There will **not** be 3 cars parked at the proposed house.
- Therefore, there is an overprovision of parking space, allowing a plentiful area for any required manoeuvre. There will be no need to use the specific parking space that has caused TDM concern. In any case, as the occupants will be retirees, a vehicle may be smaller than a medium sized family car.
- It will be straightforward, and not unreasonable, for the occupants of the house, or visitors, to carry out an additional vehicle manoeuvre within their site, should it be needed to achieve the best position for egressing the site.
- The parking provided and space for turning to egress the site is significantly better than many of the other properties on Main Street that have no turning space and either enter or egress in reverse gear.



Egress from **only** this space of concern to TDM. This space need not be used. The proposed house is a retirement home, without the need for the three parking spaces shown. In any case there is space available to adjust vehicle position should this be needed.

Agenda Item 6(1)

**Bellfield Farm Steading, Milton of Balgonie,
Glenrothes**

Application No. 22/04032/FULL

Planning Decision Notice

Claymore Timber Frame Ltd
Gordon Morton
Pine Lodge
Cupar Road
Ladybank
Fife
KY15 7RB

Planning Services

Brian Forsyth

development.central@fife.gov.uk

Your Ref:

Our Ref: 22/04032/FULL

Date 27th June 2023

Dear Sir/Madam

Application No: 22/04032/FULL
Proposal: Erection of four dwellinghouses (Class 9) and associated development, including formation of access and hardstanding
Address: Bellfield Farm Steading Milton Of Balgonie Fife

Please find enclosed a copy of Fife Council's decision notice indicating refusal of your application. Reasons for this decision are given, and the accompanying notes explain how to begin the appeal or local review procedure should you wish to follow that course.

Should you require clarification of any matters in connection with this decision please get in touch with me.

Yours faithfully,

Brian Forsyth, Planner, Development Management

Enc



DECISION NOTICE FULL PLANNING PERMISSION

Fife Council, in exercise of its powers under the Town and Country Planning (Scotland) Act 1997, as amended by the Planning etc. (Scotland) Act 2006 **REFUSES PLANNING PERMISSION** for the particulars specified below

Application No: 22/04032/FULL
Proposal: **Erection of four dwellinghouses (Class 9) and associated development, including formation of access and hardstanding**
Address: **Bellfield Farm Steading Milton Of Balgonie Fife**

The plans and any other submissions which form part of this Decision notice are as shown as 'Refused' for application reference 22/04032/FULL on Fife Council's Planning Applications Online

REFUSE FOR THE FOLLOWING REASON(S):

1. In the interests of visual amenity; the four very similar house designs proposed, in overdevelopment of their respective plots, would impart an anomalous cramped appearance to the development, reading as incongruous within the rural landscape setting, to the detriment of landscape character and views, failing to safeguard the character and qualities of the landscape, and having a very significant detrimental impact on the visual amenity and quality of the area; all contrary to adopted National Planning Framework 4 (2023) policies 14 Design, Quality and Place, 17 Rural Homes and 29 Rural Development; and Policies 1: Development Principles, 10: Amenity and 13: Natural Environment and Access of the adopted FIFEplan Fife Local Development Plan (2017).
2. In the interests of residential amenity; the proposals failing to meet the plot ratio targets set out in Fife Council Planning Services' Garden Ground customer guidelines to a significant degree, such as would give rise to a significant detrimental impact on residential amenity, contrary to adopted National Planning Framework 4 (2023) policy 14: Design, Quality and Place; and Policies 1: Development Principles and 10: Amenity of the adopted FIFEplan Fife Local Development Plan (2017).
3. In the interests of safeguarding the development and the environment from flooding and flood risk and the ecological quality of the water environment; it has not been demonstrated that the development would not increase flooding or flood risk on site or elsewhere or detrimentally impact on the ecological quality of the water environment, contrary to adopted National Planning Framework 4 (2023) policies 1: Tackling the Climate and Nature Crises, 14: Design, Quality and Place and 22: Flood Risk and Water Management; and Policies 1: Development Principles, 10: Amenity and 12: Flooding and the Water Environment of the adopted FIFEplan Fife Local Development Plan (2017).

Dated: 27th June 2023

Derek Simpson

For Head of Planning Services

PLANS

The plan(s) and other submissions which form part of this decision are: -

Reference	Plan Description
01	Location Plan
02	Block Plan
03	Proposed various - elevation, floor etc
04	Proposed Elevations
05	Proposed various - elevation, floor etc
06	Proposed Elevations
07	Proposed various - elevation, floor etc
08	Proposed Elevations
09	Proposed various - elevation, floor etc
10	Proposed Elevations
11	Low Carbon Sustainability Checklist
12	Mine Risk Assessment
13	Drainage Plan
14	Surface Water Flow Diagram
15	Drainage statement/strategy
16	Sustainable Drainage Certificates
17	Sustainable Drainage Certificates
18	SUDs and Flood Risk Assessment Certs
19	SUDs and Flood Risk Assessment Certs

Dated:27th June 2023

Derek Simpson

For Head of Planning Services

IMPORTANT NOTES ABOUT THIS DECISION

LOCAL REVIEW

If you are not satisfied with this decision by the Council you may request a review of the decision by the Council's Local Review Body. The local review should be made in accordance with section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 by notice sent within three months of the date specified on this notice. Please note that this date cannot be extended. The appropriate forms can be found following the links at www.fife.gov.uk/planning. Completed forms should be sent to:

**Fife Council, Committee Services, Corporate Services Directorate
Fife House
North Street
Glenrothes, Fife
KY7 5LT**

or emailed to local.review@fife.gov.uk

LAND NOT CAPABLE OF BENEFICIAL USE

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Minister, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he/she may serve on the Planning Authority a purchase notice requiring the purchase of his/her interest in the land in accordance with Part V Town and Country Planning (Scotland) Act, 1997.

Agenda Item 6(2)

**Bellfield Farm Steading, Milton of Balgonie,
Glenrothes**

Application No. 22/04032/FULL

Report of Handling

REPORT OF HANDLING

APPLICATION DETAILS

ADDRESS	Bellfield Farm Steading, Milton Of Balgonie, Fife		
PROPOSAL	Erection of four dwellinghouses (Class 9) and associated development, including formation of access and hardstanding		
DATE VALID	20/04/2023	PUBLICITY EXPIRY DATE	15/06/2023
CASE OFFICER	Brian Forsyth	SITE VISIT	None
WARD	Glenrothes North, Leslie And Markinch	REPORT DATE	20/06/2023

SUMMARY RECOMMENDATION

The application is recommended for:

Refusal

ASSESSMENT

Under Section 25 of the Town and Country Planning (Scotland) Act 1997, the determination of the application is to be made in accordance with the Development Plan unless material considerations indicate otherwise.

National Planning Framework 4 (NPF4) was formally adopted on the 13th of February 2023 and is now part of the statutory Development Plan. NPF4 provides the national planning policy context for the assessment of all planning applications. The Chief Planner has issued a formal letter providing further guidance on the interim arrangements relating to the application process and interpretation of NPF4, prior to the issuing of further guidance by Scottish Ministers.

The adopted FIFEplan Fife Local Development Plan (2017) and associated Supplementary Guidance continue to be part of the Development Plan. The SESplan and TAYplan Strategic Development Plans and any supplementary guidance issued in connection with them cease to have effect and no longer form part of the Development Plan.

Section 24(3) of the Town and Country Planning (Scotland) Act 1997 states that where there is any incompatibility between a provision of the National Planning Framework and a provision of a Local Development Plan, whichever of them is the later in date is to prevail. The Chief Planner's letter adds that provisions that are contradictory or in conflict would likely be considered incompatible.

1.0 BACKGROUND

1.1 This application site is located in the countryside in terms of FIFEplan, approximately 200 metres north of the A911 and 300 metres north of Milton of Balgonie. It comprises the larger part of the site of the now demolished Bellfield Farm Steading, which part extends to approximately 0.29 hectares; vehicular access thereto adjoining on the south side in the form of a passing private farm track off the B9130; and Bellfield Farm farmhouse, immediately on the other side of the track. The former steading site is largely characterised by hardstanding and detritus left over after demolition of the steading. The applicant states that the frontage wall approved as part of the recent planning permission for four dwellinghouses granted by Fife Planning Review Body (FPRB) (ref. 19/02655/FULL, see 1.3 below) has been erected, which is in breach of pre-commencement conditions in relation to site contamination and requiring details of materials and the surface water drainage scheme to be agreed. The application site is surrounded by agricultural land, except to the east where it is adjoined by the c. 0.19 hectare remainder of the former steading, marked "to be sold soon by owners" in the submitted plans.

1.2 Full planning permission is sought for the erection of four similar detached bungalow-style three-bedroom dwellinghouses with integral single garages; and associated development, including formation of access and hardstanding.

1.3 - Application for full planning permission 14/00053/FULL for alterations to and change of use from the former steading to form three dwellinghouses with ancillary works was withdrawn on 31 January 2014;

-Application for full planning permission 14/01815/FULL for alterations to and change of use from the former steading to form three dwellinghouses with ancillary works was approved with conditions by the appointed officer on 18 November 2014;

- Application for full planning permission 19/01318/FULL for erection of a dwellinghouse with associated access and parking on the by then demolished steading site was withdrawn on 6 September 2019;

- Application for full planning permission 19/02655/FULL for the erection of four detached three-bedroom dwellinghouses was refused by the Appointed Officer on 29 March 2022, the development considered contrary to policies relating to: houses in the countryside (the previously existing rundown/derelict steading removed and the opportunity to greatly benefit the site lost); visual amenity (the development imparting an incongruous suburban character); residential amenity (two plots failing to meet useable garden space targets); road safety and sustainability (intensification onto unrestricted distributor road and remote location); contaminated land; and drainage (insufficient information). FPRB reversed this decision on 7 September 2022, considering the development to accord with the aforementioned policies relating to: houses in the countryside (cognisant of the previously demolished buildings, the development considered to offer significant visual and environmental benefits); visual amenity (subject to a condition in relation to materials, the design considered to be of a sufficient quality

and in-keeping with the character of the location); residential amenity (subject to removal of PD rights for Plot 3); road safety and sustainability (subject to conditions); contaminated land (subject to conditions); and drainage (subject to a condition for the surface water drainage scheme to be approved).

1.4 A physical site visit has not been undertaken for this application. All necessary information has been collated digitally to allow for the full assessment of the proposal. A risk assessment has been carried out and it is considered, given the evidence and information available to the case officer, that this is sufficient to determine the proposal. Online satellite/aerial imagery and existing photographs provide sufficient coverage of the site.

2.0 ASSESSMENT

2.1 The issues to be assessed against the development plan and other guidance are as follows:

- Principle of Development
- Design/Visual Impact
- Residential Amenity
- Road Safety/Transportation
- Ground Conditions
- Flood Risk and Water Management
- Sustainability

2.2 Principle of Development

2.2.1 It is considered that the principle of the development is established by there being an extant planning permission for the erection of four dwellinghouses on the site, ref. 19/02655/FULL (see 1.3 above). Although development has commenced in breach of pre-commencement conditions, the limited nature of the breach to date (erection of a frontage wall) is not considered significant enough to render the permission non-extant. The adoption of NPF4 does not give rise to a material change in planning policy relevant to the principle of development.

2.2.2 The overall acceptability of the proposal, including in terms of the quality of the area, is subject to being acceptable in terms of the below provisions of policy and guidance.

2.3 Design/Visual Impact

2.3.1 NPF4 policy 14 Design, Quality and Place states that proposals that are poorly designed, detrimental to the amenity of the surrounding area, or inconsistent with the six qualities of successful places (including 'Pleasant' and 'Distinctive') will not be supported. NPF4 policies 17 Rural Homes and 29 Rural Development collectively add that development proposals for new homes in rural areas require to be suitably scaled, sited and designed to be in keeping with the character of the area. FIFEplan Policy 1: Development Principles adds that development proposals must address their individual and cumulative impacts, complying with relevant criteria and supporting policies, including protecting the amenity of the local community and complying with FIFEplan Policy 10: Amenity; and safeguarding the character and qualities of the landscape and complying with FIFEplan Policy 13: Natural Environment and Access. FIFEplan Policy 10 states that development will only be supported if it does not have a significant detrimental impact on amenity in relation to, amongst other things, the visual impact of the development on the

surrounding area. FIFEplan Policy 13 states that development will only be supported where landscape character and views will be protected.

2.3.2 In a departure from the scheme approved by FPRB (19/02655/FULL, see 1.3 above), four very similar house designs are now proposed, in overdevelopment of their respective plots (2.4 below refers), which would impart an anomalous cramped appearance to the development, reading as incongruous within the rural landscape setting. The scheme approved by FRPB was generally not so overdeveloped, the larger and most visually-dominant of its dwellinghouses reminiscent of a rural steading and serving, to a degree, to mitigate officer concerns in relation to landscape impact. For the reasons stated, it is considered that the current proposals would be to the very significant detriment of landscape character and views, failing to safeguard the character and qualities of the landscape, and having a very significant detrimental impact on the visual amenity of the area generally; all contrary to the above provisions of policy in relation to design/visual impact.

2.4 Residential Amenity

2.4.1 NPF4 policy 14: Design, Quality and Place states that proposals that are poorly designed will not be supported. Policy 1: Development Principles of FIFEplan states that development proposals must address their individual and cumulative impact, complying with relevant criteria and supporting policies, including protecting the amenity of the local community and complying with Policy 10: Amenity. Policy 10: Amenity states that development will only be supported if it does not have a significant detrimental impact on the amenity of existing or proposed land uses. Planning Services' Garden Ground customer guidelines add that all new detached and semi-detached dwellinghouses should be served by a minimum of 100 square metres of private useable garden space and that a building to garden ratio of 1:3 will be required.

2.4.2 Whilst the proposals would meet the garden space expectations in the above guidelines, they would fail to meet the 1:3 plot ratio target by a significant degree. In light of this, it is considered that the proposals would give rise to a significant detrimental impact on the living environment of the development as a whole, contrary to the above provisions of policy in relation to residential amenity. Overdevelopment was generally not an issue in the case of the scheme approved by FPRB (19/02655/FULL, see 1.3 above).

2.5 Road Safety/Transportation

2.5.1 Policy 1: Development Principles of FIFEplan states that development proposals must address their individual and cumulative impact, complying with relevant criteria and supporting policies, including mitigating against the loss in infrastructure capacity caused by the development by providing additional capacity or otherwise improving existing infrastructure, and complying with Policy 3: Infrastructure and Services. Policy 3 requires that development must be designed and implemented in a manner that ensures it delivers the required level of infrastructure and functions in a sustainable manner; where necessary and appropriate as a direct consequence of the development or as a consequence of cumulative impact of development in the area, development proposals must incorporate measures to ensure that they will be served by adequate infrastructure and services; such infrastructure and services may include, amongst other things: local transport and safe access routes which link with existing networks; development proposals are to demonstrate how they will address any impacts on road safety. The Council's adopted Making Fife's Places Supplementary Guidance (2018), Appendix G: Transportation Development Guidelines, is also relevant here.

2.5.2 Policy 11: Low Carbon of FIFEplan states that all development should encourage and facilitate the use of sustainable transport appropriate to the development, promoting in the following order of priority: walking, cycling, public transport, cars.

2.5.3 Planning Services' Transportation Development Management team (TDM) objects, advising that:

- The proposal is to erect a dwellinghouse [sic] where more sustainable modes of transport are not readily and safely available to allow people to access local facilities, amenities, shops, schools etc. by trips on public transport or by short walking trips and/or cycling trips. Consequently, the development does not provide for non-car modes of transport and in reality, the development would be car dominant which is against the principles of NPF4.

- Transportation Development Management have a policy against the formation of new vehicular accesses or the increase in use of existing vehicular accesses and junctions on unrestricted distributor roads that are outwith established built up areas. From a transportation point of view, a built-up area is defined as the area within a 30 or 40mph speed limit. The reason for this policy is that such accesses introduce, or increase, traffic turning manoeuvres that conflict with through traffic movements and so increase the probability of crashes occurring, to the detriment of road safety.

- Should the application be approved, Transportation Development Management would like the following conditions applied to the application:

a. Prior to the occupation of any of the proposed dwellinghouses, off street parking shall be provided within the curtilage of each dwellinghouse on the basis of 3 off street parking spaces being provided per 4 and above dwellinghouse and 2 No. off street parking spaces being provided per 3 bedroom dwellinghouse.

Reason: In the interest of road safety; to ensure the provision of adequate off street parking.

b. Prior to the first occupation of any of the proposed dwellinghouses, there shall be provided within the curtilage of the site suitable turning areas for vehicles suitable for use by the largest size of vehicle expected to visit or be used by occupants of the premises to allow a vehicle to enter and exit the driveway in a forward gear. The turning area shall be formed outwith the parking areas and shall be retained throughout the lifetime of the development.

Reason: In the interest of road safety; to ensure that all vehicles taking access to and egress from the site can do so in a forward gear.

c. Prior to the occupation of the first dwellinghouse, visibility splays of 6 metres x 210 metres in a westerly direction towards Markinch and 6 metres x 90 metres in a southerly direction towards the A911 public classified road shall be provided and maintained clear of all obstructions exceeding 600mm in height above the adjoining road channel level, at the junction of the vehicular access and the public road, in accordance with the current Fife Council Transportation Development Guidelines.

Reason: In the interests of road safety; to ensure the provision of an adequate design layout, construction and visibility at road junctions.

d. Prior to the occupation of the first dwellinghouse, "Private Access" name plates shall be erected at the junction of the shared private access and the public road.

Reason: In the interests of road safety; to ensure the entrances to shared private accesses are clearly defined.

2.5.4 Notwithstanding the views of TDM, and taking into account that the principle of the development is considered established (2.2 above refers), the proposal stands to be considered acceptable in terms of road safety/transportation, subject to the conditions recommended by TDM.

2.6 Ground Conditions

2.6.1 FIFEplan Policy 1: Development Principles of FIFEplan states that development proposals must address their individual and cumulative impact, complying with relevant criteria and supporting policies, including protecting the amenity of the local community and complying with Policy 10: Amenity. Policy 10: Amenity states that development will only be supported if it does not have a significant detrimental impact on amenity in relation to, amongst other things, contaminated and unstable land.

2.6.2 The Coal Authority confirms that the application site falls within the defined Development High Risk Area but that it has no objection to the proposed development subject to the imposition of conditions. The Council's Land and Air Quality (L&AQ) team advises that any planning permission granted should be subject to the usual standard type conditions.

2.6.3 Taking the views of the Coal Authority and L&AQ into particular account, and subject to their recommended conditions, it is considered that the proposals accord with the above provisions of policy in relation to ground conditions.

2.7 Flood Risk and Water Management

2.7.1 NPF4 policy 22 Flood Risk and Water Management states proposals at risk of flooding or in a flood risk area will only be supported in certain instances; will not increase the risk of surface water flooding to others, or itself be at risk, managing all rain and surface water through sustainable urban drainage systems (SuDS); should presume no surface water connection to the combined sewer; and seek to minimise the area of impermeable surface. Proposals will be supported if they can connect to the public water mains; if connection is not feasible, the applicant will need to demonstrate that water for drinking water purposes can be sustainably sourced. NPF4 policies: 1: Tackling the Climate and Nature Crises and 14: Design, Quality and Place are also relevant here, the latter stating that proposals that are inconsistent with the six qualities of successful places (including 'Adaptable') will not be supported. FIFEplan Policy 1: Development Principles adds that development proposals must address their individual and cumulative impacts, complying with relevant criteria and supporting policies, including improving existing infrastructure capacity and complying with FIFEplan Policy 3: Infrastructure and Services. FIFEplan Policy 3 adds that development must be designed and implemented in a manner that ensures it delivers the required level of infrastructure; where necessary and appropriate as a direct consequence of the development or as a consequence of the cumulative impact of development in the area, development proposals must incorporate measures to ensure that they will be served adequate infrastructure and services; such infrastructure and services may include, amongst other things, foul and surface water drainage, including SuDS. FIFEplan Policy 12: Flooding and the Water Environment adds that development proposals will only be supported where they can demonstrate that they will not, individually or cumulatively, amongst other things, detrimentally impact on ecological quality of the water environment. The Council's Surface Water Management Plan Design Criteria Guidance (2022) is also relevant here.

2.7.2 Scottish Water has no objection in relation to drainage and availability of drinking water but advises that the nearest water main is on the opposite side of the A911. The site is not shown within a flood area in the Scottish Environment Protection Agency flood maps. The Council's Flooding, Shoreline & Harbours team (FiSH) has no objection in relation to flooding but asks for further information, as follows:

"Confirmation that the soakaways will remain above the maximum groundwater level. Trial pits were carried out in August 2020 (out with the prescribed winter to spring period for highest groundwater levels) to 1100mm-1500mm depths without water strike, while the proposed soakaways are 1640mm depth plus unreported ground cover. Further ground investigations are to be carried out to ascertain the groundwater level and that it will remain below the invert level of the soakaways. A drawing detail of the soakaway depth in relation to surface level is required to be provided. A trial pit location drawing is also required."

2.7.3 In relation to drinking water (a new consideration with the adoption of NPF4), the agent states, in contradiction of Scottish Water, that the applicant advises the site already has a mains water connection from Milton of Balgonie, although no details of this have been submitted. In any event, a sustainable drinking water supply can be secured by a condition of planning permission requiring that no development commences in advance of any express planning permission required for connection having been obtained and no house occupied until supply is made available, etc.

2.7.4 In relation to the further surface water drainage information requested by FiSH, it is noted that, as with the previous application 19/02665/FULL (see 1.3 above), the applicant has failed to submit the information by the deadline set. Given this continuing uncertainty as to the ability to satisfactorily deal with surface water, and the likely increased difficulty in doing so on the overdeveloped site now proposed, it is considered that the approach taken by FPRB in the case of 19/02665/FULL, i.e. to condition surface water management measures for later approval, would not be valid in the case of this new scheme, failing to satisfy the Court's 'reasonable' test for the validity of conditions (Scottish Government Planning Circular 4/1998: The Use of Conditions in Planning Permissions refers).

2.7.5 Taking the views of FiSH into particular account, it is considered that the proposals accord with the above provisions of policy and guidance in relation to flooding. Subject to the abovementioned condition in relation to drinking water, it is considered that the proposal is acceptable in terms of the above provisions of policy in relation to drinking water. In light of the failure to submit the requested further surface water information by the deadline set, it is considered that the proposal stands to be considered unacceptable in terms of the above provisions of policy and guidance as they relate to surface water.

2.8 Sustainability

2.8.1 NPF4 policy 1 Tackling the Climate and Nature Crises states that significant weight will be given to the global climate and nature crises. NPF4 policy 2 Climate Mitigation and Adaptation states that proposals will be sited and designed to minimise lifecycle greenhouse gases as far as possible. NPF4 policy 3 Biodiversity states that proposals for local development will include appropriate and proportionate measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. NPF4 policy 14: Liveable Places states that development proposals will be supported where they are compliant with the qualities of successful places, including 'Sustainable', supporting the efficient use of resources, ensuring climate resilience, and integrating nature positive, biodiversity solutions. FIFEplan Policy 1:

Development Principles adds that development proposals must address their individual and cumulative impacts, complying with relevant criteria and supporting policies, including improving existing infrastructure capacity and complying with FIFEplan Policy 3: Infrastructure and Services. FIFEplan Policy 3 adds that development must be designed and implemented in a manner that ensures it delivers the required level of infrastructure; where necessary and appropriate as a direct consequence of the development or as a consequence of the cumulative impact of development in the area, development proposals must incorporate measures to ensure that they will be served adequate infrastructure and services; such infrastructure and services may include, amongst other things, green infrastructure complying with Making Fife's Places Supplementary Guidance (2018) and low and zero carbon generating technologies in accordance with FIFEplan Policy 11: Low Carbon Fife. FIFEplan Policy 1: Development Principles states that development proposals must be supported by information requirements to demonstrate that they will comply with relevant criteria and supporting policies, including providing for energy conservation and generation in layout and design; contributing to national climate change targets; and complying with FIFEplan Policy 11: Low Carbon Fife. FIFEplan Policy 11 adds that planning permission will only be granted for new development where it has been demonstrated that the incorporation of low and zero carbon generating technologies will contribute to meeting the Building Standards Target Emissions rate, construction materials come from local or sustainable sources, water conservation measures are in place, acceptable SuDS measures are in place, and facilities are provided for the separate collection of dry recyclable waste and food waste. Fife Council's Low Carbon Fife Supplementary Guidance (2019) is also relevant and NatureScot's Developing With Nature guidance (2023) are also relevant here.

2.8.2 Subject to conditions of planning permission requiring it to be demonstrated that lifecycle greenhouse gases are minimised as far as possible, that the required LZCGTs are incorporated, that construction materials come from local or sustainable sources, water conservation and acceptable SuDS measures are in place, facilities are provided for recyclable and food waste, and that biodiversity will be enhanced, it is considered that the proposals accord with the above provisions of policy and guidance in relation to sustainability.

CONSULTATION RESPONSES

The Coal Authority	No objection subject to standard type condition.
Structural Services - Flooding, Shoreline And Harbours	Holding objection in relation to surface water pending further information.
TDM, Planning Services	Objection on road safety and lack of connectivity grounds.
Scottish Water	No objection but advises public water main is remote.
Land And Air Quality, Protective Services	No objection subject to standard type conditions.

REPRESENTATIONS

None.

CONCLUSION

The development is acceptable in terms of the principle of development. The development does not accord with the provisions of policy and guidance relating to design/visual impact, residential amenity and flood risk and water management. Subject to conditions of planning permission, the development is acceptable in terms of road safety/transportation and accords with the provisions of policy and guidance in relation to ground conditions. Overall, the development does not accord with the provisions of policy relating to the quality of the area. Overall, the development is contrary to the development plan, there being no material considerations of sufficient weight to justify departing therefrom.

DETAILED RECOMMENDATION

The application be refused for the following reason(s)

1. In the interests of visual amenity; the four very similar house designs proposed, in overdevelopment of their respective plots, would impart an anomalous cramped appearance to the development, reading as incongruous within the rural landscape setting, to the detriment of landscape character and views, failing to safeguard the character and qualities of the landscape, and having a very significant detrimental impact on the visual amenity and quality of the area; all contrary to adopted National Planning Framework 4 (2023) policies 14 Design, Quality and Place, 17 Rural Homes and 29 Rural Development; and Policies 1: Development Principles, 10: Amenity and 13: Natural Environment and Access of the adopted FIFEplan Fife Local Development Plan (2017).
2. In the interests of residential amenity; the proposals failing to meet the plot ratio targets set out in Fife Council Planning Services' Garden Ground customer guidelines to a significant degree, such as would give rise to a significant detrimental impact on residential amenity, contrary to adopted National Planning Framework 4 (2023) policy 14: Design, Quality and Place; and Policies 1: Development Principles and 10: Amenity of the adopted FIFEplan Fife Local Development Plan (2017).
3. In the interests of safeguarding the development and the environment from flooding and flood risk and the ecological quality of the water environment; it has not been demonstrated that the development would not increase flooding or flood risk on site or elsewhere or detrimentally impact on the ecological quality of the water environment, contrary to adopted National Planning Framework 4 (2023) policies 1: Tackling the Climate and Nature Crises, 14: Design, Quality and Place and 22: Flood Risk and Water Management; and Policies 1: Development Principles, 10: Amenity and 12: Flooding and the Water Environment of the adopted FIFEplan Fife Local Development Plan (2017).

STATUTORY POLICIES, GUIDANCE & BACKGROUND PAPERS

Development Plan

Adopted National Planning Framework 4 (NPF4) (2023)
Adopted Fifeplan Fife Local Development Plan (2017)
Adopted Making Fife's Places Supplementary Guidance (2018)
Adopted Low Carbon Fife Supplementary Guidance (2019)

National

Scottish Government Planning Circular 4/1998: The Use of Conditions in Planning Permissions
Planning Advice Note 33: Development of Contaminated Land (2017)
NatureScot Developing With Nature guidance (2023)

Other

Fife Council Surface Water Management Plan Design Criteria Guidance (2022)
Fife Council Planning Services Garden Ground customer guidelines

Agenda Item 6(3)

**Bellfield Farm Steading, Milton of Balgonie,
Glenrothes**

Application No. 22/04032/FULL

Notice of Review



Fife House North Street Glenrothes KY7 5LT Email: development.central@fife.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100609171-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	CLAYMORE TIMBER FRAME LTD		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	GORDON	Building Name:	pine lodge
Last Name: *	MORTON	Building Number:	
Telephone Number: *	07739 796217	Address 1 (Street): *	CUPAR ROAD
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	LADYBANK
Fax Number:		Country: *	SCOTLAND
		Postcode: *	KY15 7RB
Email Address: *	glmdesigns@yahoo.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="ALYSON"/>	Building Number:	<input type="text" value="57"/>
Last Name: *	<input type="text" value="ANDERSON"/>	Address 1 (Street): *	<input type="text" value="HILL STREET"/>
Company/Organisation	<input type="text" value="CLAYMORE TIMBER FRAME LTD"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="07377655261"/>	Town/City: *	<input type="text" value="LADYBANK"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="SCOTLAND"/>
Mobile Number:	<input type="text" value="07377655261"/>	Postcode: *	<input type="text" value="KY15 7RN"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="BOSS@CHUCKS.PLUS.COM"/>		

Site Address Details

Planning Authority:

Full postal address of the site (including postcode where available):

Address 1:	<input type="text"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text"/>
Post Code:	<input type="text"/>

Please identify/describe the location of the site or sites

<input type="text" value="former Bellfield Steadings, Milton of Balgonie"/>

Northing	<input type="text" value="701110"/>	Easting	<input type="text" value="331917"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

erection of 4 single storey similar design houses on a site where there is permission through Local review for a mix of 4 houses on the site after having been refused by the same planner who has refused again on the same grounds. full description 22/04032/FULL Erection of four dwellinghouses (Class 9) and associated development, including formation of access and hardstanding at Bellfield Farm Steading, Milton of Balgonie, Fife

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

THE ORIGINAL PLANNING THROUGH LOCAL REVIEW WAS PASSED FOR 4 DWELLINGS ON THE SITE. THE MARKET CHANGES AND CLIENT CIRCUMSTANCES HAS LED THE CLIENTS TO REVIEW THEIR PLANS AND APPLY FOR THE 4 SINGLE STOREY DWELLINGS AS THEY WILL PROVIDE A BETTER QUALITY OF LIFE AND WILL BE SUITABLE FOR THEM AND OTHERS TO STAY IN WITHOUT HAVING TO MOVE WHEN THEY GET OLDER. A FURTHER MORE DETAILED ACCOUNT FROM THE CLIENT ACCOMPANIES THIS APPEAL.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

i HAVE ADDED THE REQUESTED GROUND WATER TABLE REPORT WHICH WAS NOT SUBMITTED BUT WHICH WAS BEING PREPARED PRIOR TO THE DECISION TO REFUSE. THE ENGINEER WORKING ON IT UNFORTUNATELY HAD A CLOSE AND UNEXPECTED FAMILY BEREAVEMENT WHICH LED TO DELAY IN PROVIDING THIS BUT IT HAS BEEN CARRIED OUT SHOWING THAT THE LEVEL IS SATISFACTORY. THIS IS MENTIONED IN THE CLIENTS ACCOMPANYING STATEMENT

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

ACTUAL PLANNING DOCUMENTS SUBMITTED, WATERTABLE REPORT, CLIENTS JUSTIFICATION

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/04032/FULL

What date was the application submitted to the planning authority? *

02/12/2022

What date was the decision issued by the planning authority? *

27/06/2023

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr GORDON MORTON

Declaration Date: 13/07/2023

From: Administrator <allyson@chucks.plus.com>

Date: 6 July 2023 at 22:03:06 BST

To: boss <boss@chucks.plus.com>

Subject: Appeal Application Ref- 22/04032/FULL

Allyson Anderson 57 Hill Street Ladybank Cupar Fife KY15 7NR . E-mail boss@chucks.plus.com Tel- 01337831855 Agent Mr Gordon Morton E-mail Gordon@claymoretimberframe.co.uk Tel- 01337831900 Application reference -22/04032/FULL.Planning officer - Mr Brian Forsyth.

The initial planning application for this development was approved by FPBR on the 7th September 2022 Ref- 19/02655 FULL. Due to my wish to future proof the houses and change in circumstances, the application to change the design and layout was re-submitted Ref- 22/04032/FULL.

Mr Brian Forsyth planning officer issued a refusal on 20/06/2023 stating 3 main points for his decision. I would like to outline my appeal against this decision.

Point 1 - The traditional crafted sand stone built bungalows resemble rural homes. They enhance the rural landscape and are designed to blend into the surroundings in keeping with the agricultural theme. The design is spacious and the layout is not crammed in any manner. The houses will be sand stone built with lime mortar crafted by local stonemasons with slate roofs. They promote the character of the development and will be of exceptional quality. The development will not be detrimental to the views being houses on one level surrounded by fields ,pasture and hills. Traditionally farm houses and steadings were built with sand stone and slate. This development highlights that design.

The wrap around hand crafted 1.2 metre sand stone wall with cobbled entrance built in accordance with the Balfour Estates conditions attached to the land sale was in place prior to the FPBR decision . This was in place to deter illegal fly tipping and potential unwanted intruders. Questioned by Brian Forsyth again . This development has 360 degree views of fields and hills giving the impression of a never ending garden.

Point 2 - The garden ground for each bungalow is as follows Plot 1- 470 square metres, Plot 2 -430 sqm Plot 3 - 470 sqm and Plot 4 380 sqm . This allows for 2 car parking space per house and area to turn and exit. The garden areas are very generous verging on enormous . Plots 1 and 2 have rear gardens which are approximately 30 metres by 6 metres and front gardens which are approx. 30m by 9m. Plot 3 rear garden- 26m by 12m front garden 26m by 3m. Plot 4 rear garden 25m by 5m front garden 25m by 5m . They all have in excess of 100 square metres of garden. Mr Brian Forsyth agrees that the garden ground is adequate . E mail dated 5th May 2023 to Gordon Morton.

I refer to Fife Planning Customer Guidelines 'If there are no other properties to base the plot ratio on, you should use a ratio of at least 2:1 where the area of the garden is at least twice the size of the building footprint ' Each of the proposed houses meet this criteria.

Point 3 - The report re-flooding, ecological quality of water environment etc was requested by Mr Brian Forsyth within a 14 Day Time Limit. This seems a Very Short period of time to organise a civil engineer to be on site AND write a full report ! This report has been undertaken successfully by McGregor and McMahon and is included with this appeal. Mr Brian Forsyth was informed of this but chose to submit the following " The applicant has failed to submit the requested further surface water information by the deadline set under new housing guidelines "

Mr Brian Forsyth made it very clear that before this expensive report was undertaken he had the intention to refuse the application. Peculiar that the report was still to be done yet he had already given his indication of refusal.

The development land is 50 metres above sea level. If this development floods the Milton Of Balgonie will be a lake !

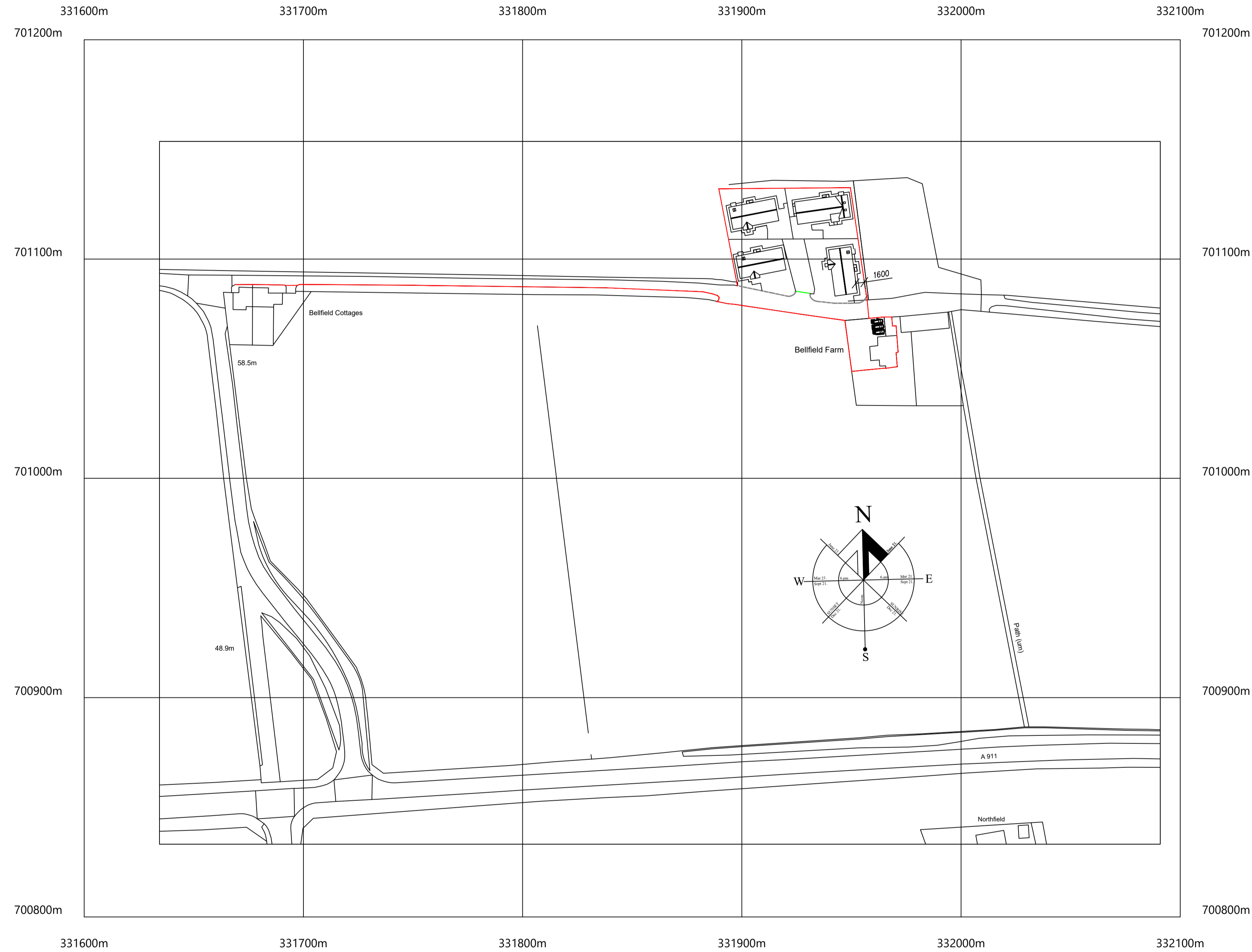
Scottish Water

To clarify the rising main was brought up to the farmhouse ,cottages and farmhouse steadings over 40 years ago from the Milton. This water supply covers the drinking water question as explained to Mr Forsyth.

Traffic

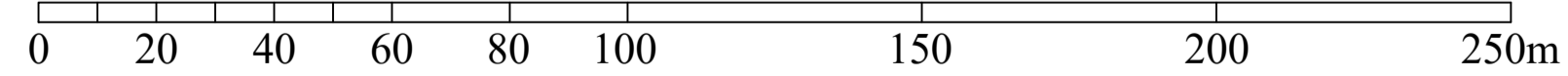
As already stated in the previous application which was accepted by FPBR on the 7th of September 2022 - nothing has altered there is still public transport, trains and buses all easily accessible . There is a footpath to Markinch . Therefor the development is not solely reliant on cars.The conditions given in the accepted planning approval by FPRB will be fully met.

I appreciate your time in reading all documents and evidence associated with this appeal Mrs Allyson Anderson.

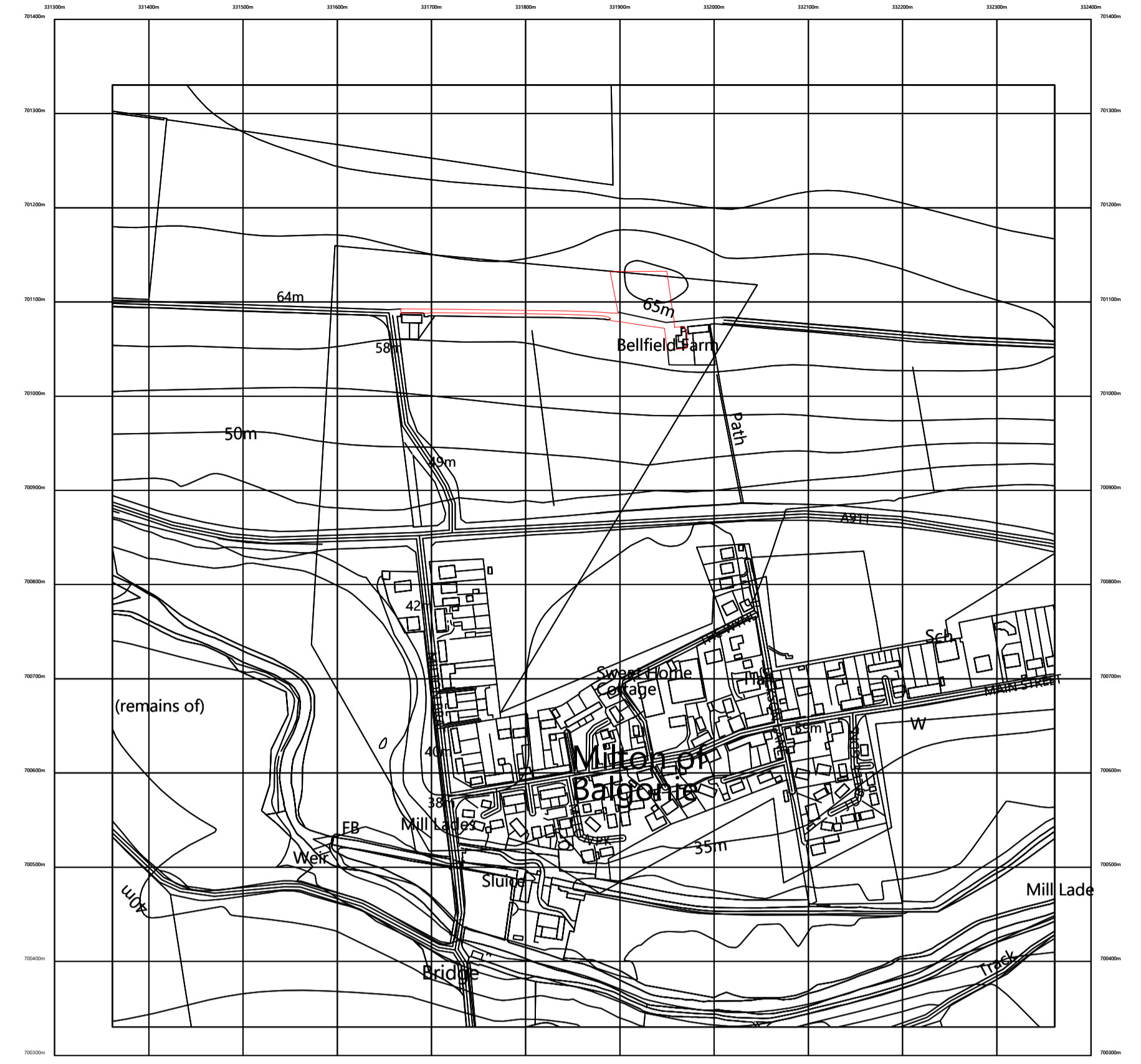


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Scale of Metres (1:1250)



LOCATION PLAN 1:1250.



Scale of Metres (1:5000)

0 250m 500m 1000m
LOCATION PLAN 1:5000.

IF IN DOUBT - ASK!

NOTE

THE DETAILS AND SPECIFICATION SHOWN MAY CHANGE BUT ONLY AT THE PRIOR DISCRETION AND APPROVAL OF THE DESIGNER, ADDITIONALLY THE LOCAL AUTHORITY WHERE THE BUILDING REGULATIONS APPLY.

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DATE	REVISION	SIGNED	INDEX

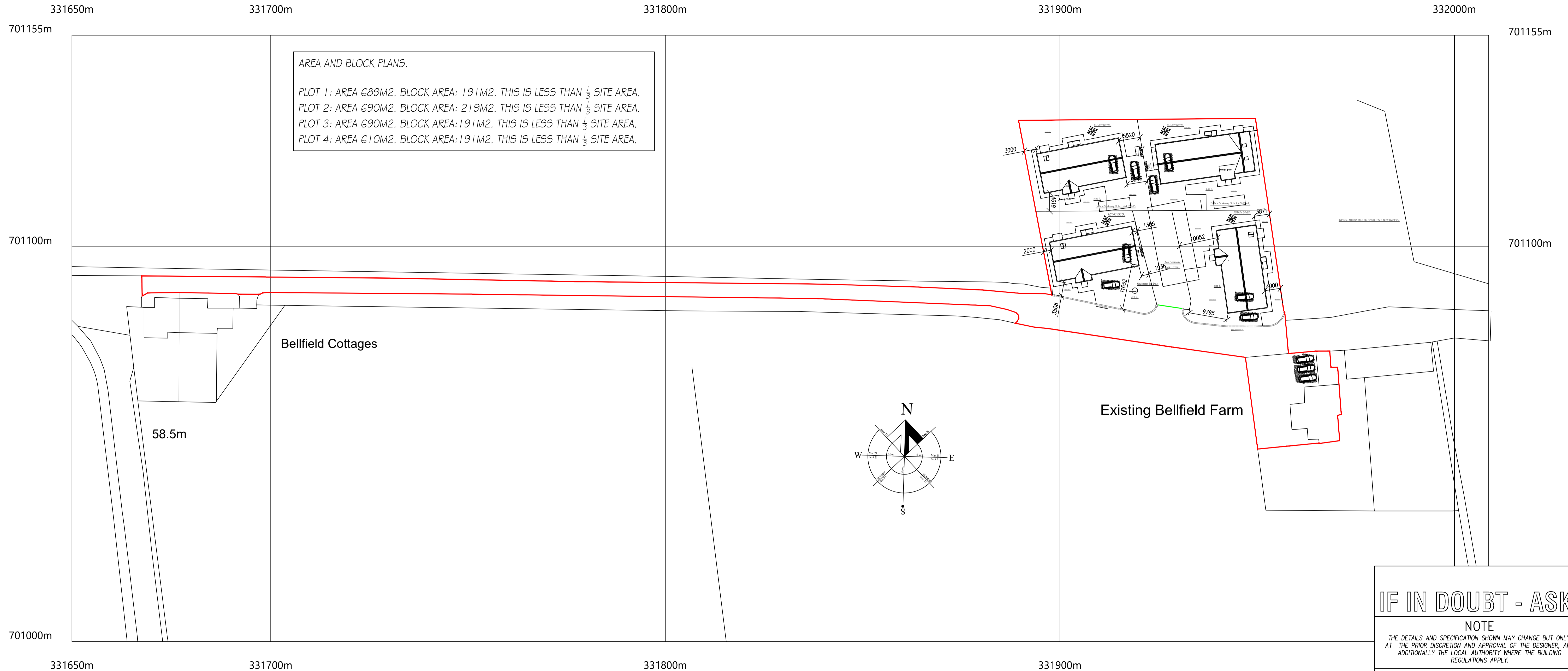
TITLE:
ANDERSON-HOUSETYPE.
LOCATION-PLANS.

FOR: FOR-A-ANDERSON.
BELLFIELD-FARM-STEADINGS.
LADYBANK.

CLAYMORE
TIMBER FRAME

CLAYMORE TIMBER FRAME LIMITED
PINE LODGE, CUPAR ROAD, LADYBANK,
FIFE, KY15 7RB.
Tel/Fax : 01337 831900
Email : Info@claymoretimberframe.co.uk
With the Extra Edge

Drawn by	Check by
GLM.	CTF.
Date	1-12-22
Scale	1:5000-1:1250
Drawing No.	AA-PD-01-22.
Revision	-



LANDSCAPE FINISHES:
 EXTERNAL PATHS & DRIVEWAYS: GREY/TERRACOTTA SLABS OR TARMAC DEPENDING ON CLIENT CHOICE..
 EXTERNAL SOFT LANDSCAPING: GRASS AREA WHERE SHOWN.
 EXTERNAL BOUNDARIES: 6FT HIGH WOODEN FENCE AND / OR HEDGES DEPENDANT ON CLIENT CHOICES.
 LANDSCAPING: SOFT SHRUBS AND BORDERS WHERE REQUIRED BY CLIENT.

JUSTIFICATION OF PROPOSALS:
 THE PROPOSAL IS TO BUILD 4 NEW BUNGALOWS ON THE SITE OF THE FORMER BELLFIELD STEADINGS WHICH HAVE BEEN DEMOLISHED. THE SITE CURRENTLY HAS PERMISSION FOR A LARGE BUNGALOW PLUS 2 1 1/2 STOREY AND 1 BUNGALOW THE SAME AS THE ONE NOW PROPOSED AND MODIFIED FOR ALL FOUR PLOTS DUE TO CLIENT WISHES. THE SITE GOT PERMISSION FOLLOWING A REVIEW BY LOCAL REVIEW BODY AND CLIENTS NOW WISH TO REDUCE THE SIZE OF THE DWELLINGS AND KEEP THEM SIMILAR GIVING A SMALL HAMLET FEEL TO THE COHESIVE DEVELOPMENT. THE SANDSTONE FROM THE DEMOLISHED BUILDINGS WAS USED TO BUILD THE BOUNDARY WALL TO THE FRONT ROAD SIDE.
 THE MODIFIED DESIGN NOW CREATES A HAMLET OF 5 DWELLINGS ALL WITH ADEQUATE GARDEN AND PARKING SPACES WITH A GOOD AMENITY OPEN GARDENS WITH LINKS TO GLENROTHES WHICH IS ONLY 5 MILES FROM THE DEVELOPMENT AND MILTON OF BALGOWNIE WHICH IS WITHIN WALKING DISTANCE. THE EXISTING FARMHOUSE IS INCLUDED WITHIN THE HAMLET. TO THE RIGHT HAND SIDE IS ANOTHER 1850M2 PLOT EARMARKED FOR AT LEAST ANOTHER 1 POSSIBLY 2 HOUSES THIS WILL BE DETERMINED ONCE THE CURRENT OWNERS SELL THE PLOT. THE DETAILS OF SOLAR PANELS ACCOMPANY THIS APPLICATION.

IF IN DOUBT - ASK!

NOTE
 THE DETAILS AND SPECIFICATION SHOWN MAY CHANGE BUT ONLY AT THE PRIOR DISCRETION AND APPROVAL OF THE DESIGNER, AND ADDITIONALLY THE LOCAL AUTHORITY WHERE THE BUILDING REGULATIONS APPLY.

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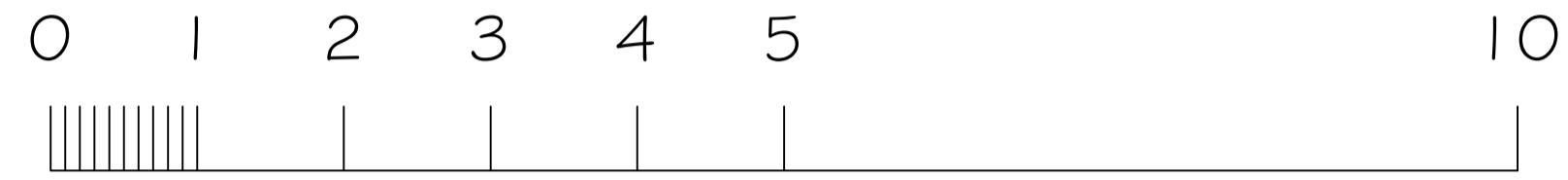
DATE	REVISION	SIGNED	INDEX

TITLE:
 ANDERSON-HOUSETYPES.
 BLOCKPLAN.

FOR: FOR-A-ANDERSON.
 BELLFIELD-FARM-STEADINGS.
 MILTON-OF-BALGOWNIE.

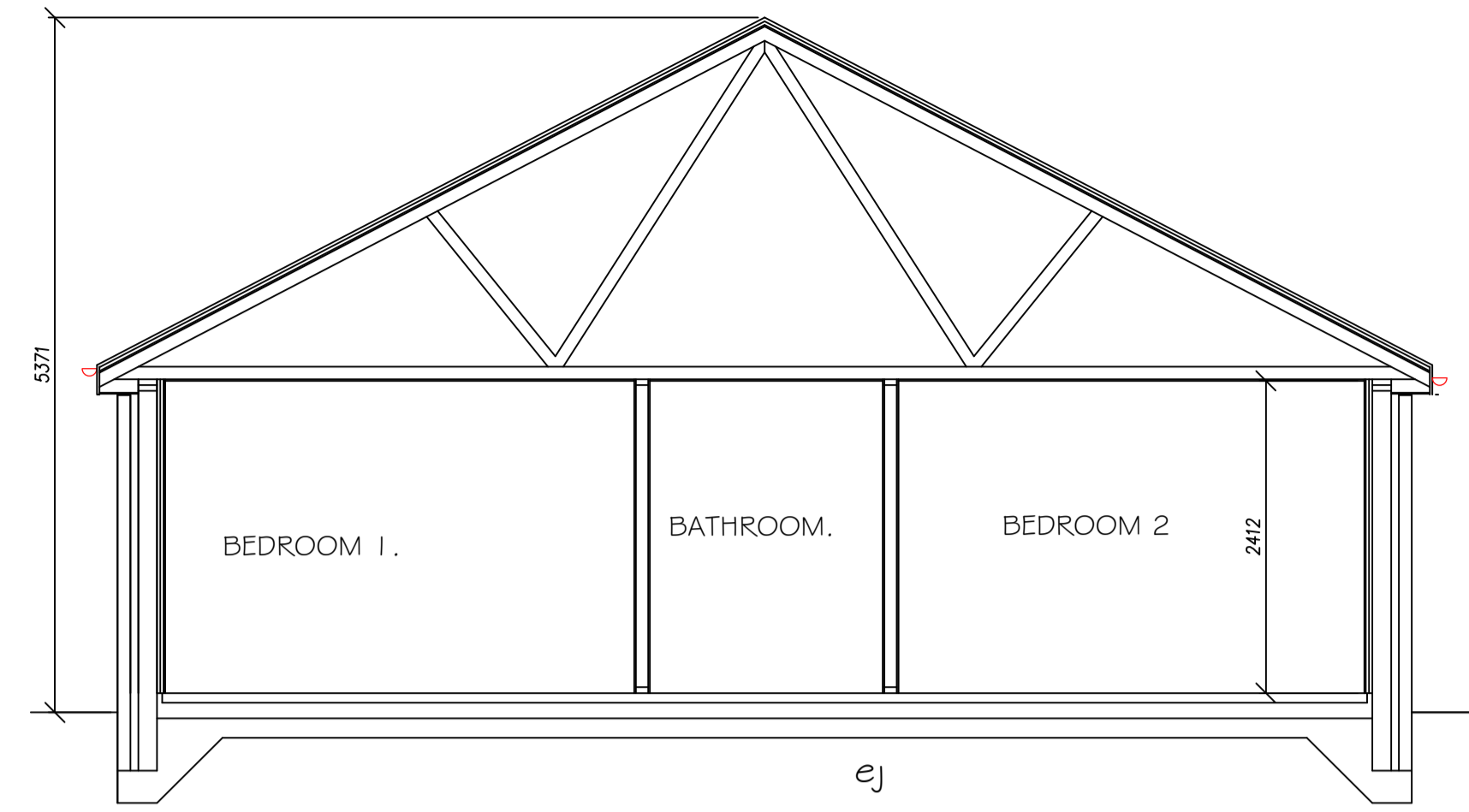
	Drawn by	GLM.	Check by	CTF.
	Date	1-12-22.		
CLAYMORE TIMBER FRAME LIMITED PINE LODGE, CUPAR ROAD, LADYBANK, FIFE, KY15 7RB. Tel/Fax : 01337 831900 Email : Info@claymoretimberframe.co.uk With the Extra Edge	Scale	1:500		
	Drawing No.	AA-PD-02-22.		
	Revision	-		

EXTERNAL FINISHES:
 EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SANDSTONE, HUDDERSFIELD MIX DYED AND TUMBLED ABACUS STONE.
 BASE COURSE: GREY SANDSTONE.
 WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
 SOFFITS, FASCIAS: ANTHRACITE GREY UPVC.
 GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
 ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.

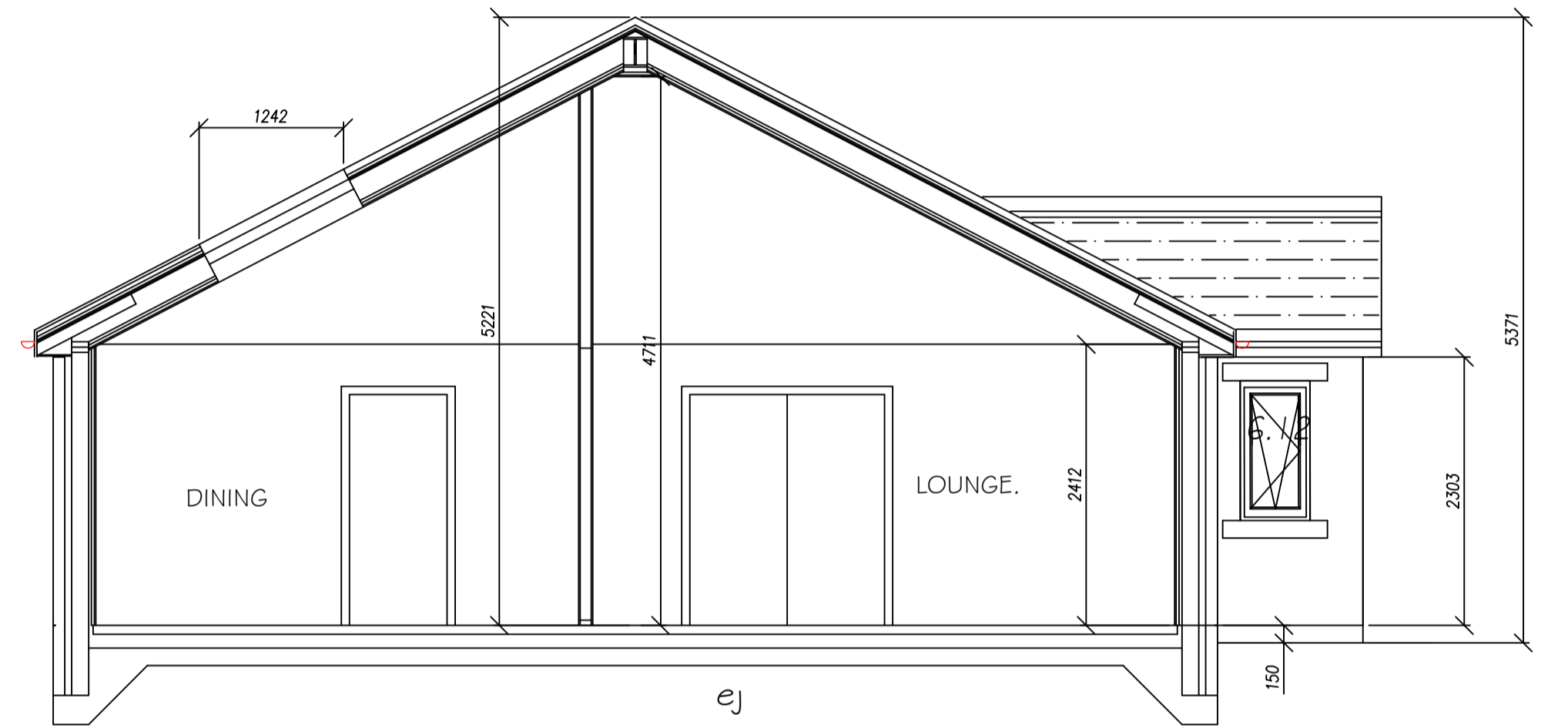


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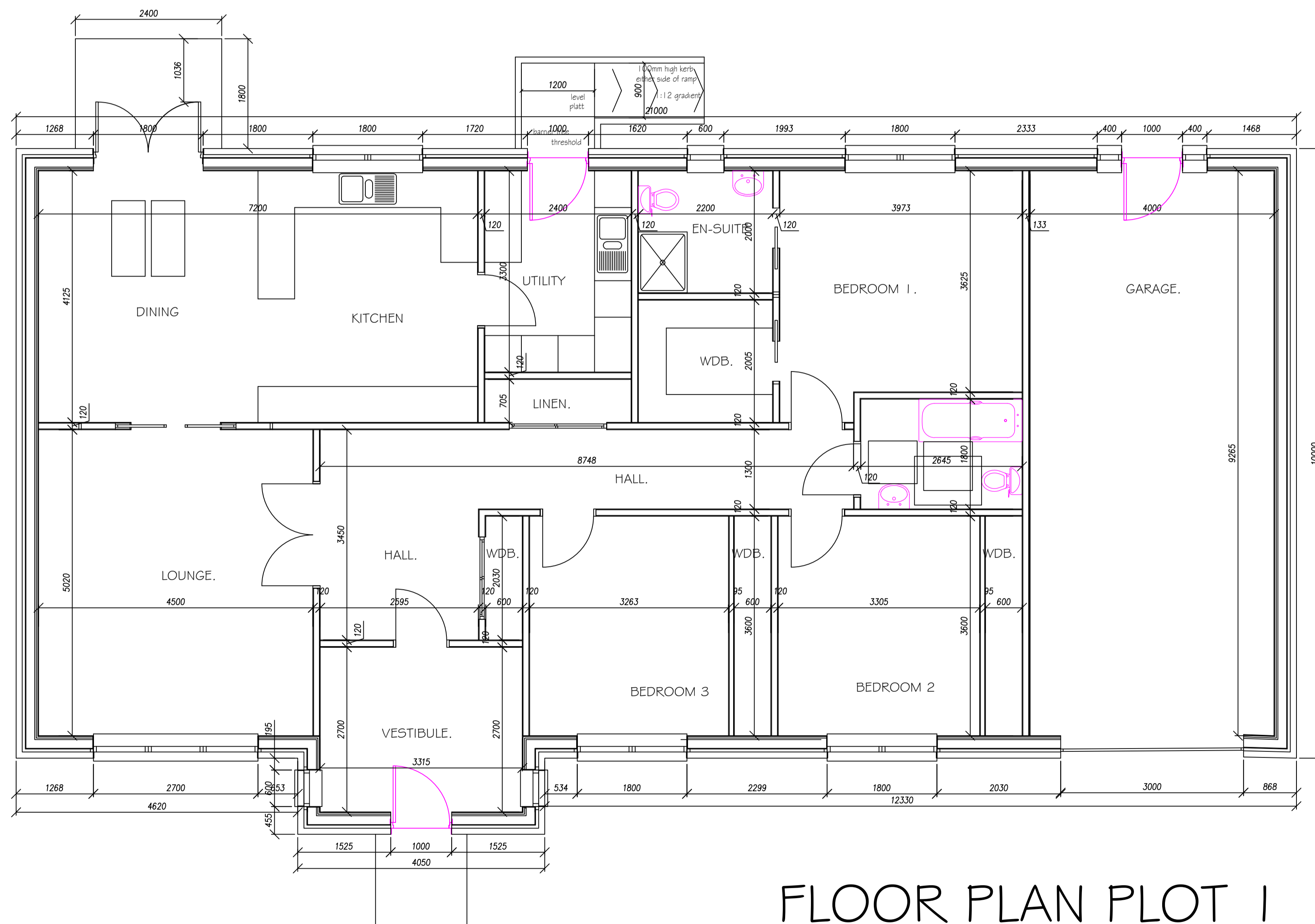
ABACUS STONE.



SECTION B-B.



SECTION A-A.



FLOOR PLAN PLOT 1

**DO NOT SCALE FOR CONSTRUCTION
 IF IN DOUBT - ASK!**

NOTE

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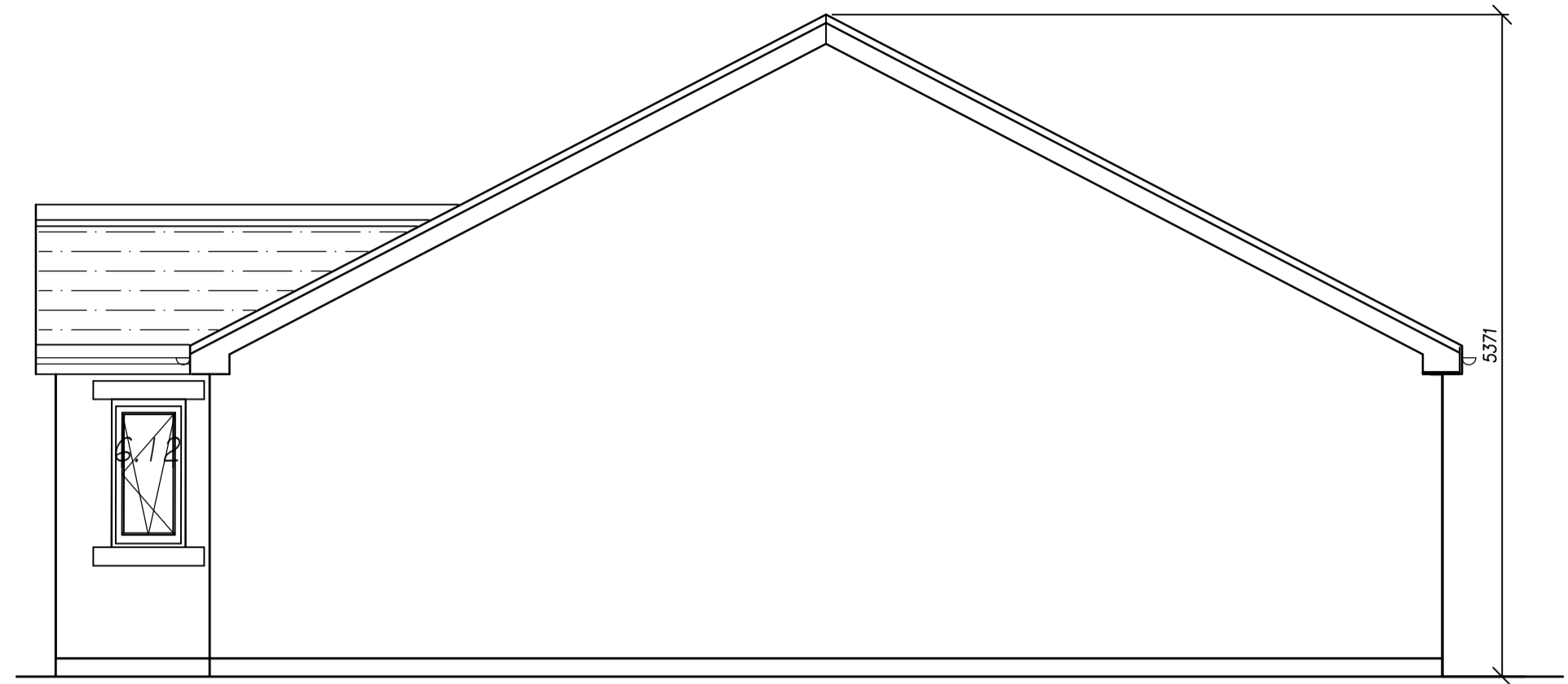
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DATE	REVISION	SIGNED	INDEX

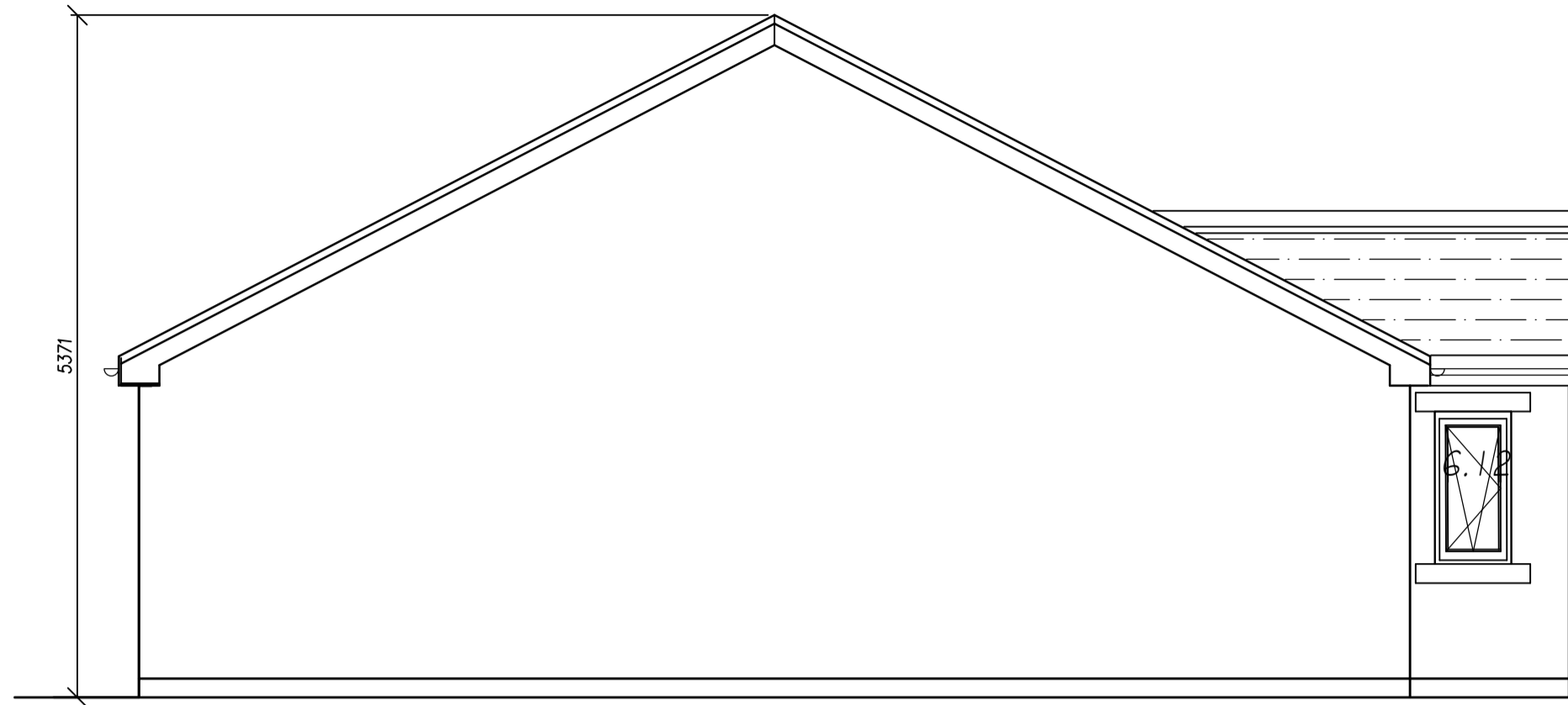
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 SPECIAL-HOUSETYPE.
 PLOT-1-PLANS-&SECTIONS.

FOR: FOR-ANDERSON,
 BELLFIELD-FARM-STEADINGS
 MILTON-OF-BALGOWNIE.

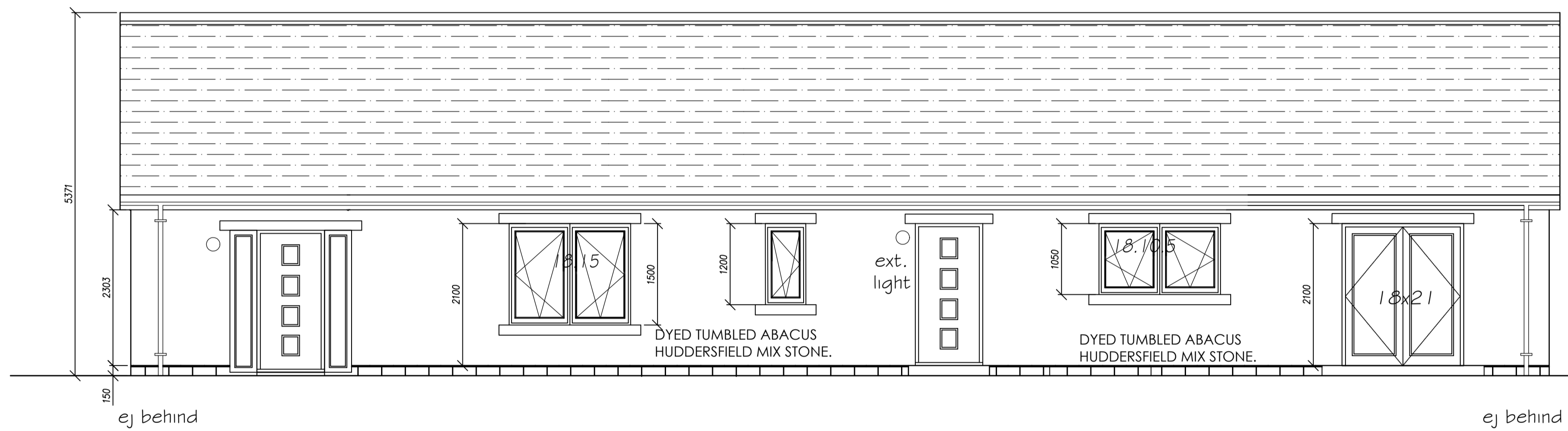
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	GM	-
CLAYMORE TIMBER FRAME LIMITED c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB. Tel/Fax :- 01337 827766 Email :- claymoretimberframe@yahoo.co.uk	Date	25-10-22.
	Scale	1:50.
With the Extra Edge	Drawing No.	AA-PD-03-22
	Revision	-



EAST ELEVATION.

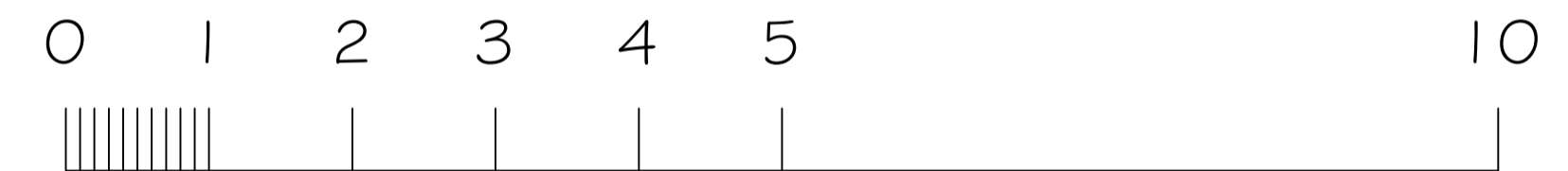


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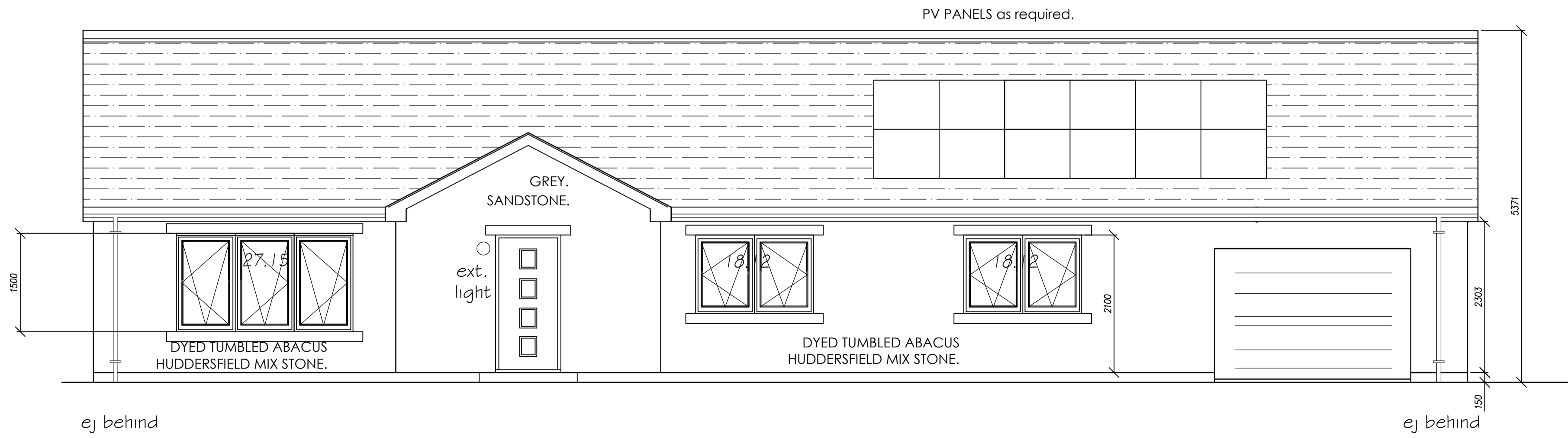


NORTH ELEVATION

EXTERNAL FINISHES:
EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SANDSTONE, HUDDERSFIELD
MIX DYED AND TUMBLED ABACUS STONE.
BASE COURSE: GREY SANDSTONE.
WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
SOFFITS, FASCIAS: ANTHRACITE GREY UPVC.
GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.



SCALEBAR 1:50 IN METRES.



SOUTH ELEVATION

DO NOT SCALE FOR CONSTRUCTION
IF IN DOUBT - ASK!

NOTE
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DATE	REVISION	SIGNED	INDEX

TITLE:
SPECIAL-HOUSETYPE.
PLOT-1-ELEVATIONS.

FOR: FOR-A-ANDERSON,
BELLFIELD-FARM-STEADINGS
MILTON-OF-BALGOWNIE.

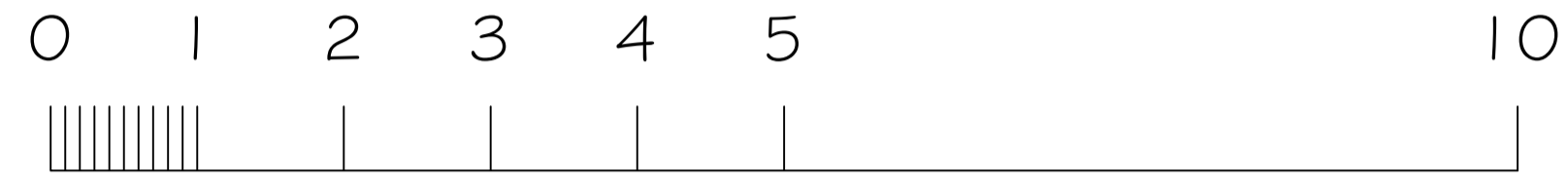
CLAYMORE
TIMBER FRAME

CLAYMORE TIMBER FRAME LIMITED
c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB.
Tel/Fax :- 01337 827766
Email :- claymoretimberframe@yahoo.co.uk

With the Extra Edge

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GM	-
Date	25-10-22.
Scale	1:50.
Drawing No.	AA-PD-04-22
Revision	-

EXTERNAL FINISHES:
 EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SHADES AND GREY SANDSTONE
 MIX DYED AND TUMBLED ABACUS STONE.
 BASE COURSE: GREY SANDSTONE.
 WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
 SOFFITS, FASCIAS: ANTHRACITE GREY UPVC.
 GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
 ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.

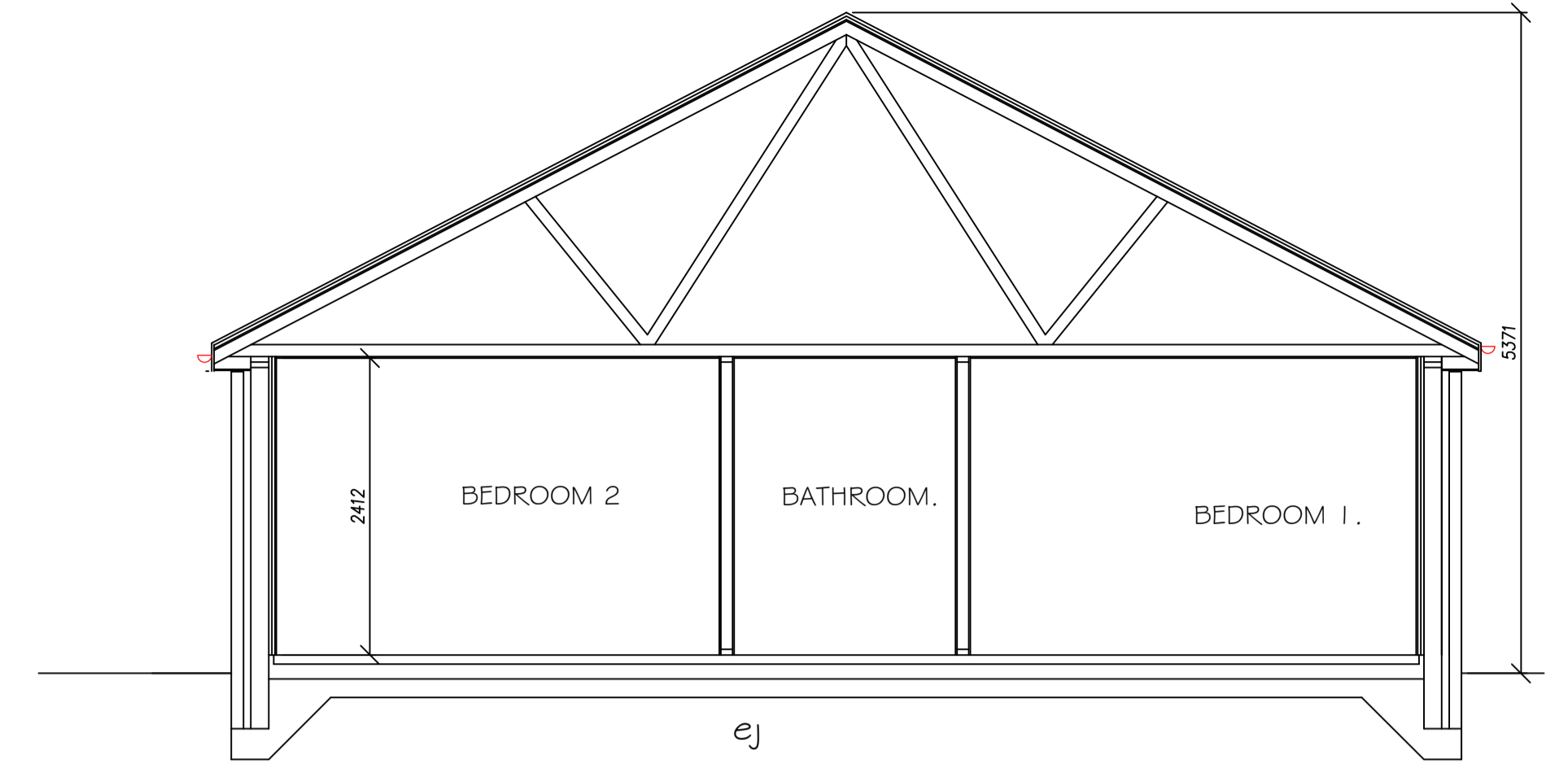


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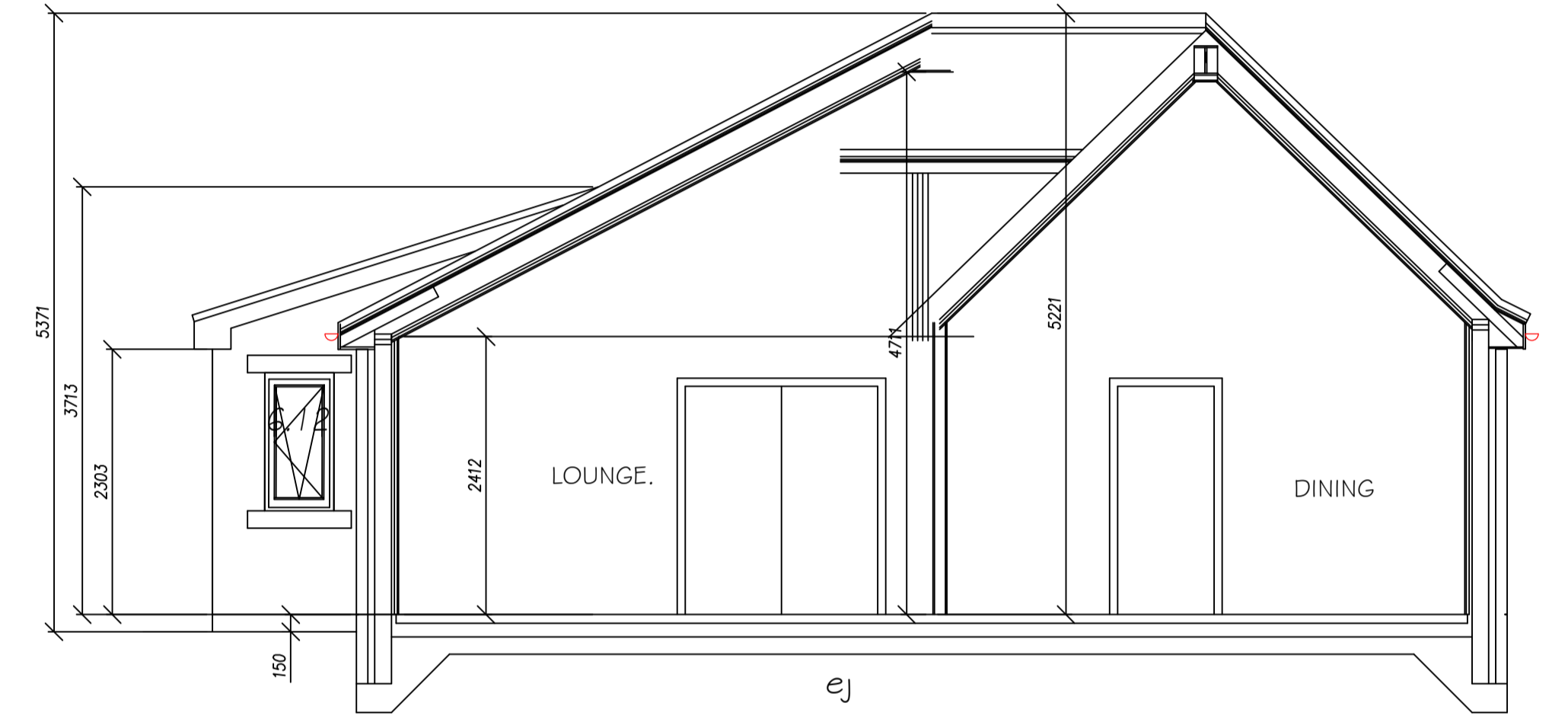


ABACUS STONE.

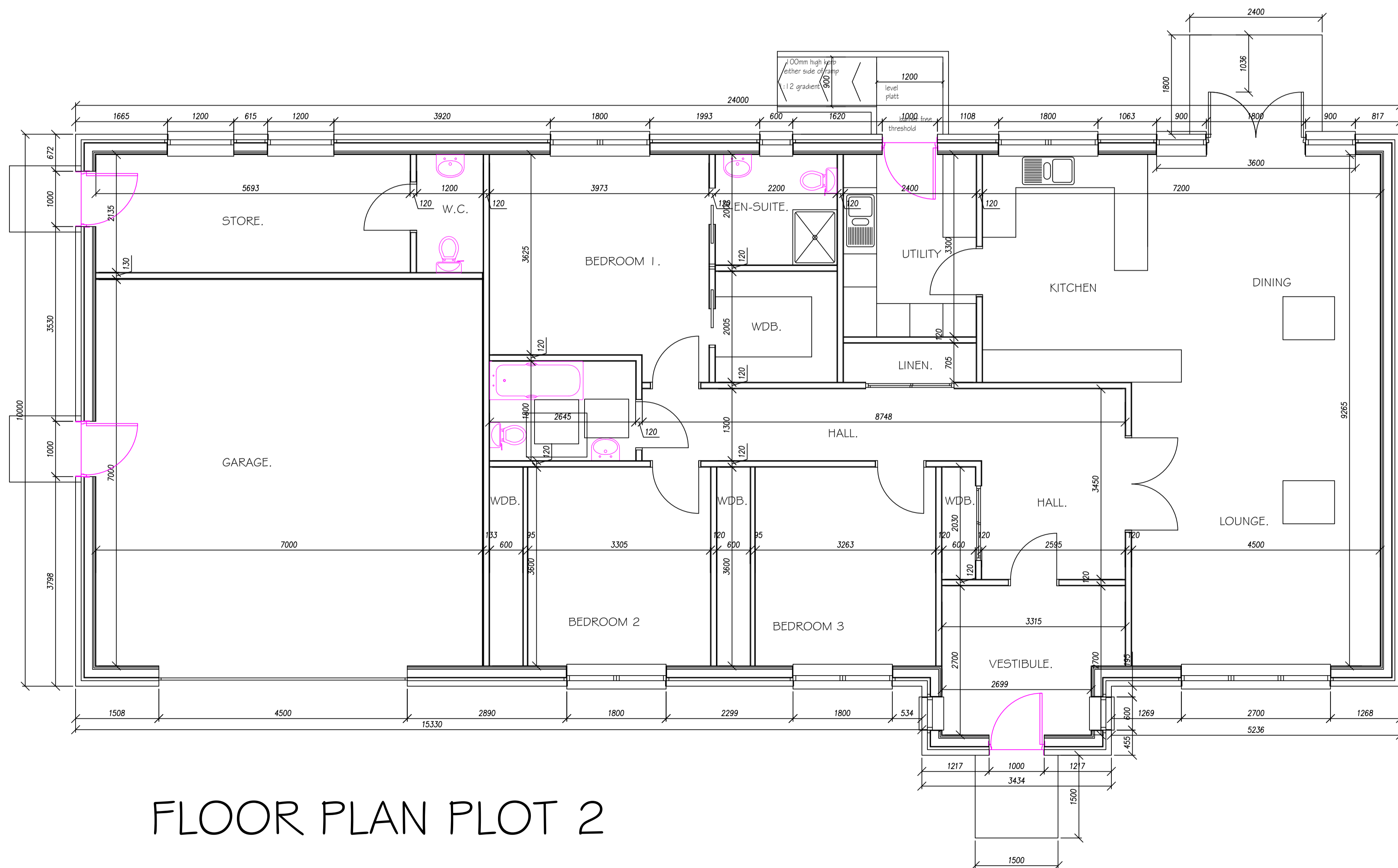
HOUSE WILL BE GREY SHADES ONLY AS PER CLIENT WISHES.



SECTION B-B.



SECTION A-A.



FLOOR PLAN PLOT 2

**DO NOT SCALE FOR CONSTRUCTION
 IF IN DOUBT - ASK!**

NOTE

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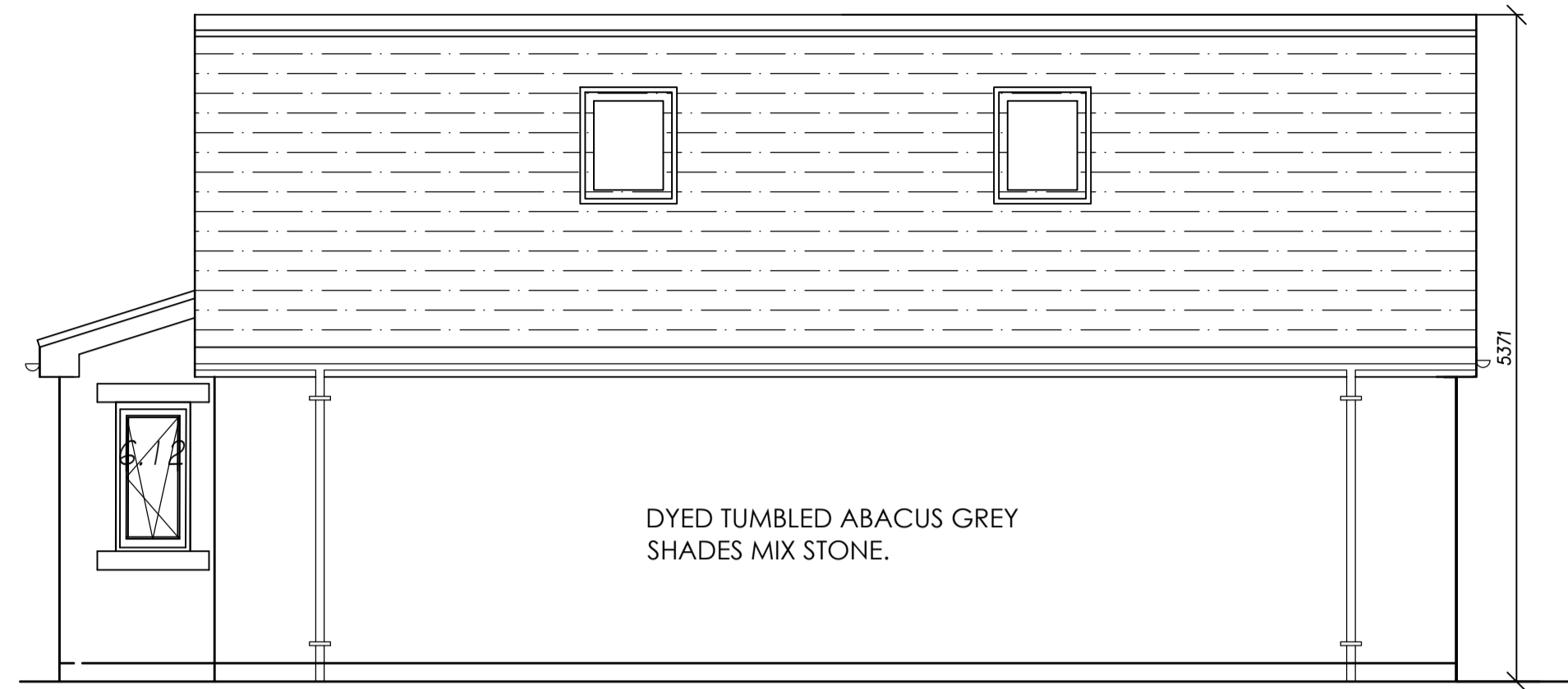
DATE	REVISION	SIGNED	INDEX

TITLE:
 SPECIAL-HOUSETYPE.
 PLOT-2-PLANS-&SECTIONS.

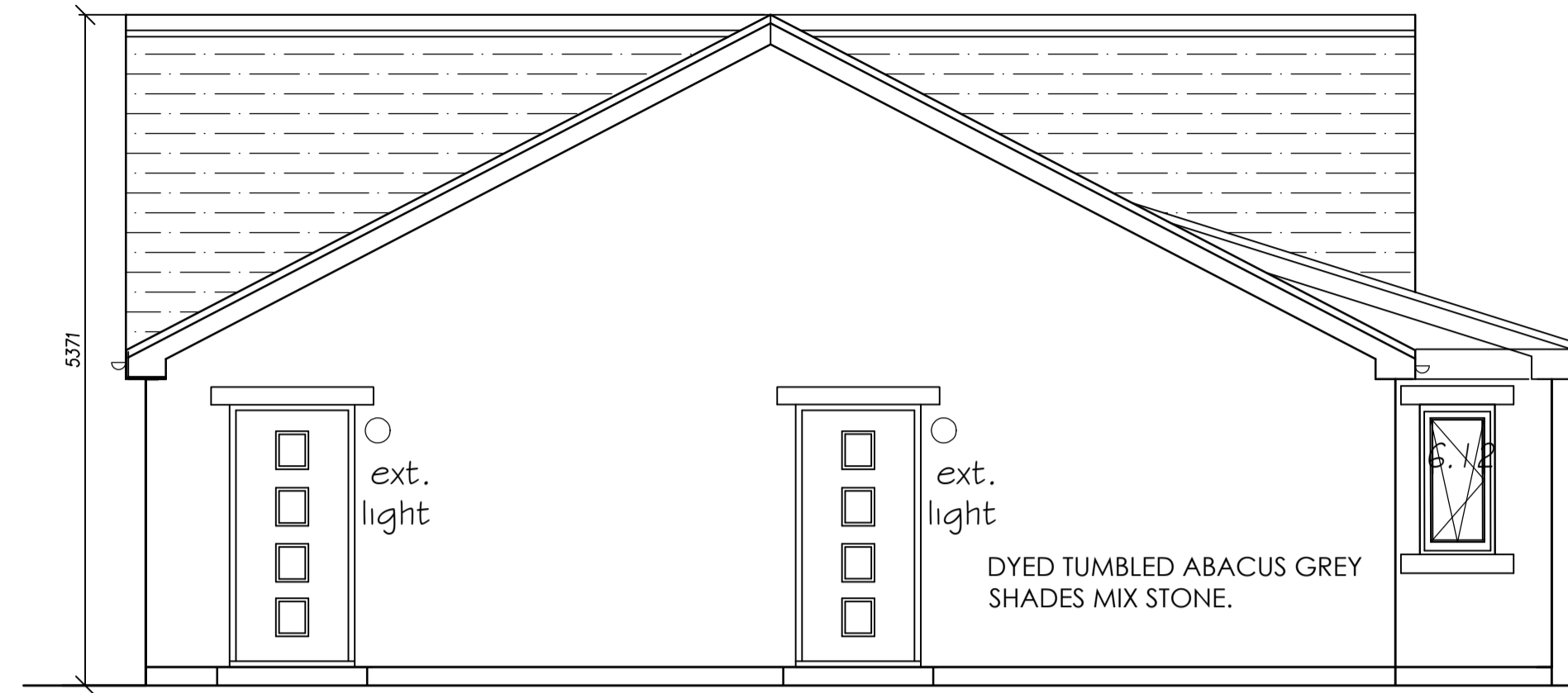
FOR: FOR-A-ANDERSON,
 BELLFIELD-FARM-STEADINGS
 MILTON-OF-BALGOWNIE.

	Drawn by	GM	Check by	-
	Date	25-10-22.		
CLAYMORE TIMBER FRAME LIMITED c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB. Tel/Fax :- 01337 827766 Email :- claymoretimberframe@yahoo.co.uk	Scale	1:50.	Drawing No.	AA-PD-05-22
	Revision			

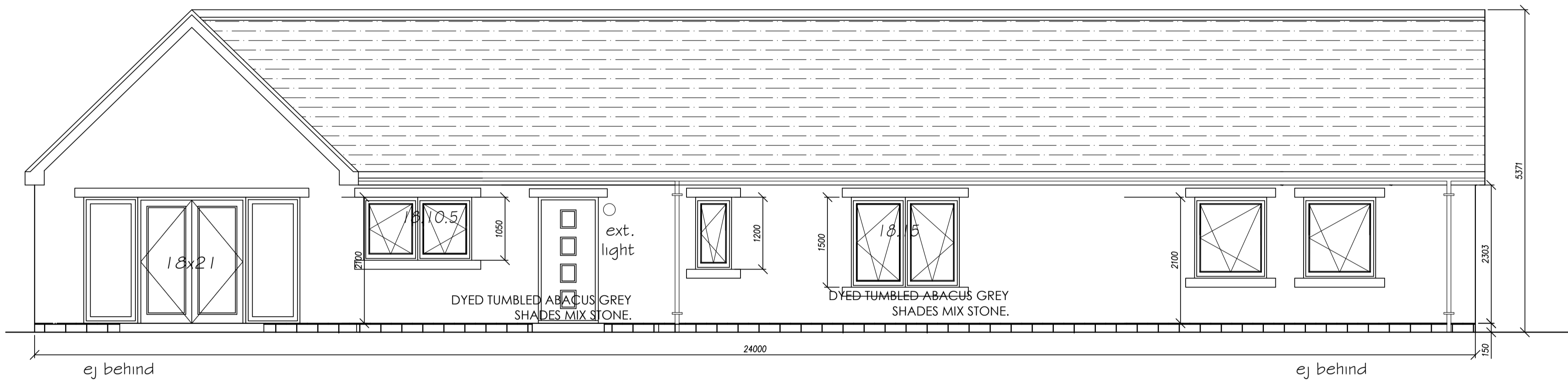
With the Extra Edge



ej
EAST ELEVATION.

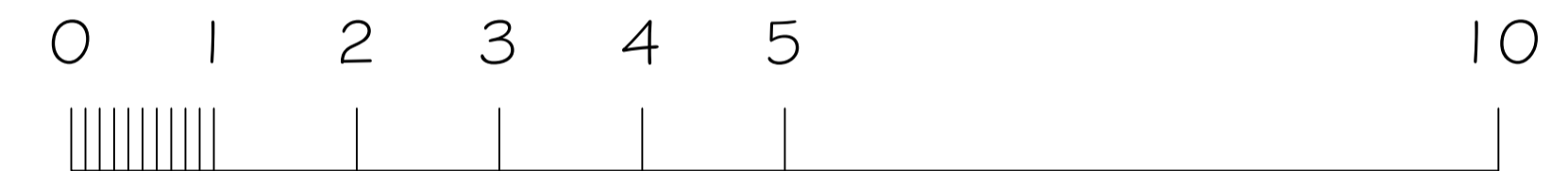


ej
WEST ELEVATION.

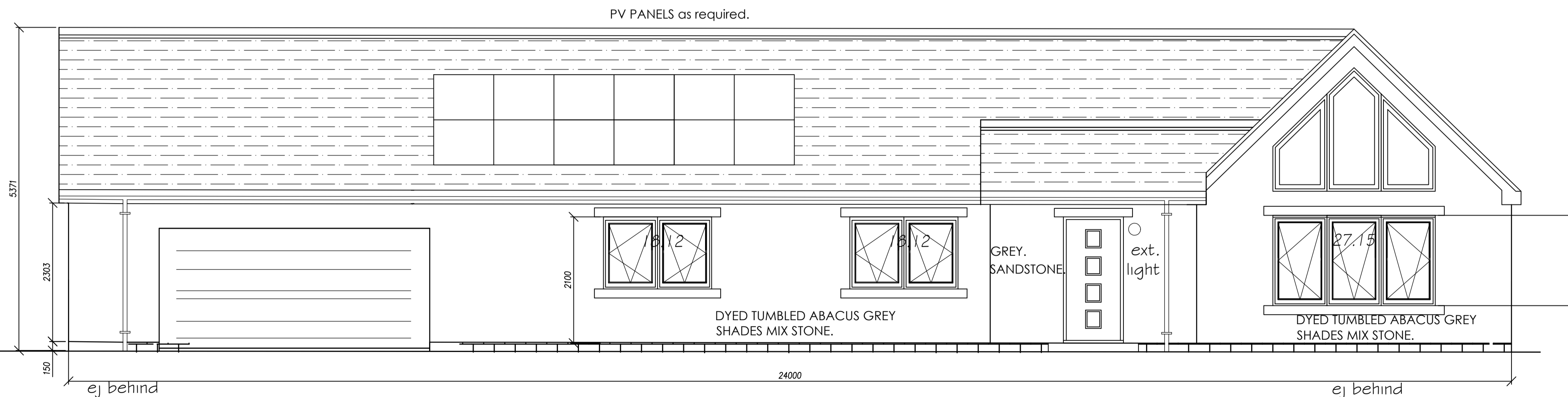


ej behind
NORTH ELEVATION

EXTERNAL FINISHES:
EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SHADES AND GREY SANDSTONE
MIX DYED AND TUMBLED ABACUS STONE.
BASE COURSE: GREY SANDSTONE.
WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
SOFFITS, FASCIA: ANTHRACITE GREY UPVC.
GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.



SCALEBAR 1:50 IN METRES.



ej behind
SOUTH ELEVATION

DO NOT SCALE FOR CONSTRUCTION
IF IN DOUBT - ASK!

NOTE

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DATE	REVISION	SIGNED	INDEX

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SPECIAL-HOUSETYPE.
PLOT-2-ELEVATIONS.

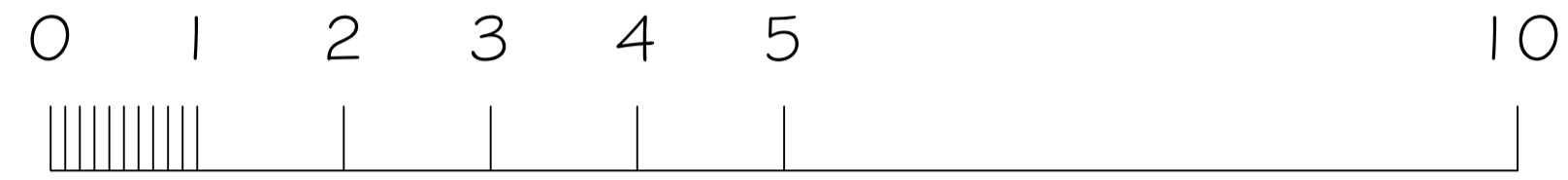
FOR: FOR-A-ANDERSON,
BELLFIELD-FARM-STEADINGS
MILTON-OF-BALGOWNIE.

	Drawn by	Check by
	GM	-
CLAYMORE TIMBER FRAME LIMITED c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB. Tel/Fax :- 01337 827766 Email :- claymoretimberframe@yahoo.co.uk	Date	25-10-22.
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With the Extra Edge	Drawing No.	AA-PD-06-22
	Revision	-

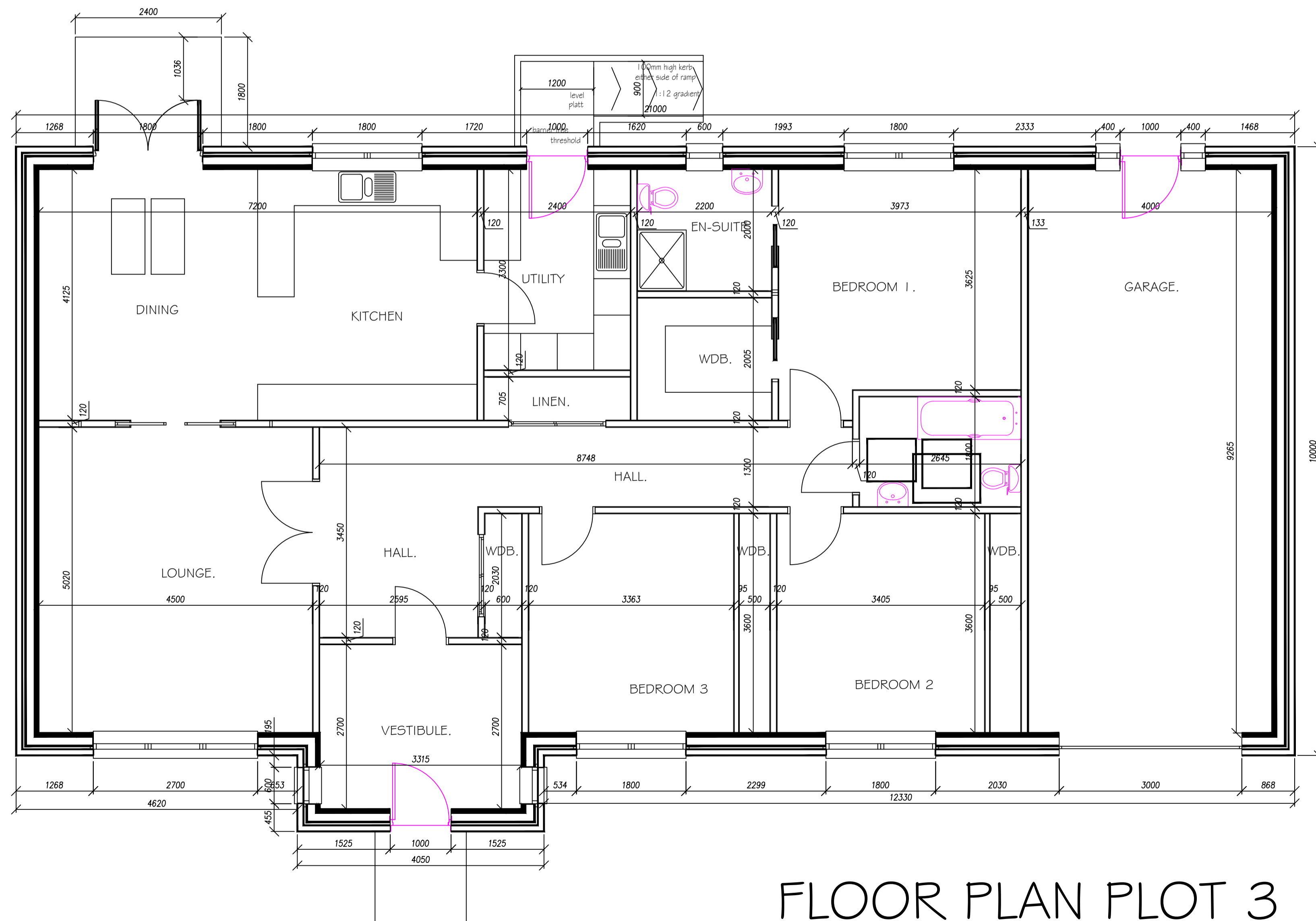
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 BASE COURSE: GREY SANDSTONE.
 WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
 SOFFITS, FASCIAS: ANTHRACITE GREY UPVC.
 GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
 ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.



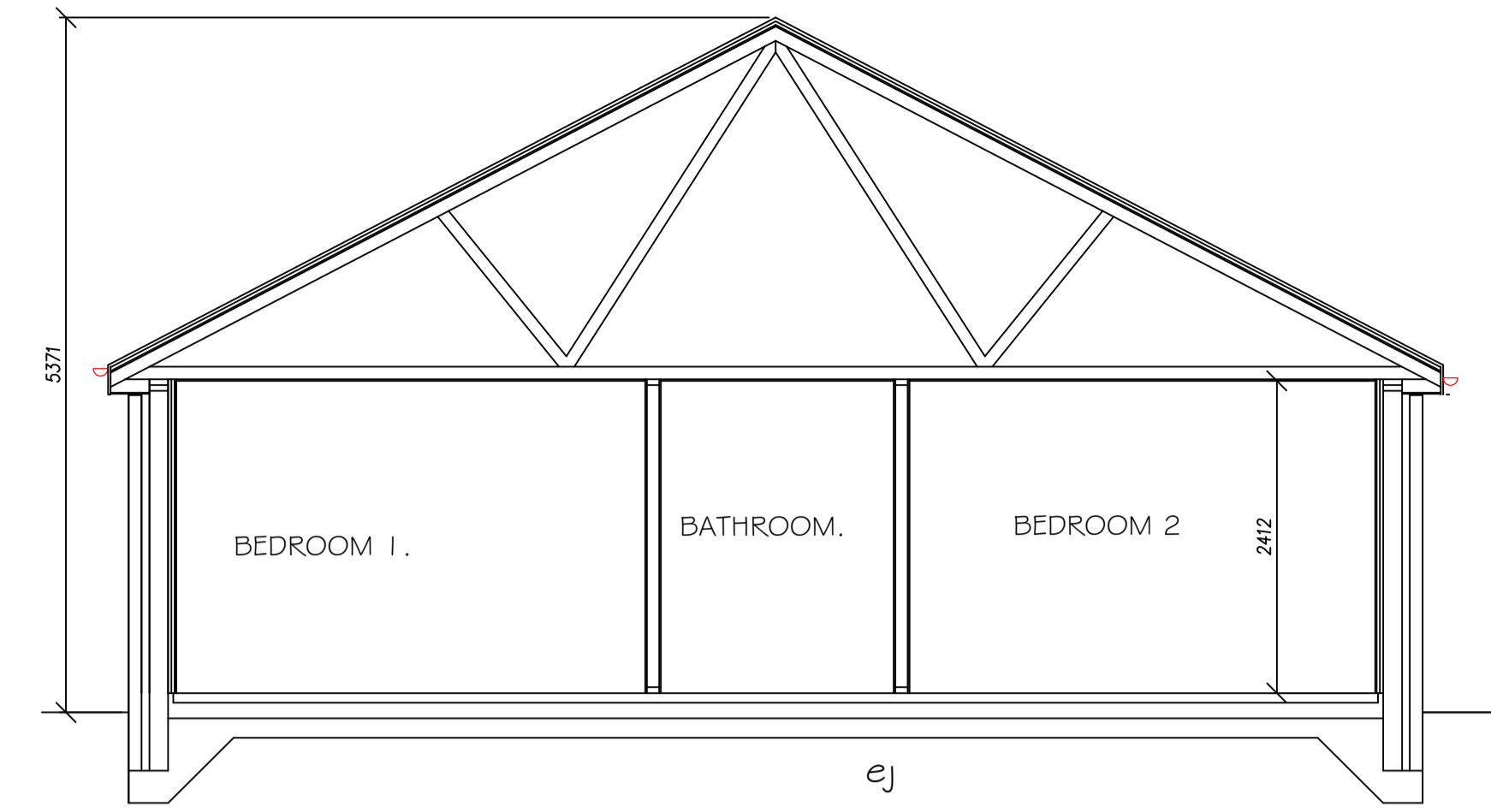
ABACUS STONE.



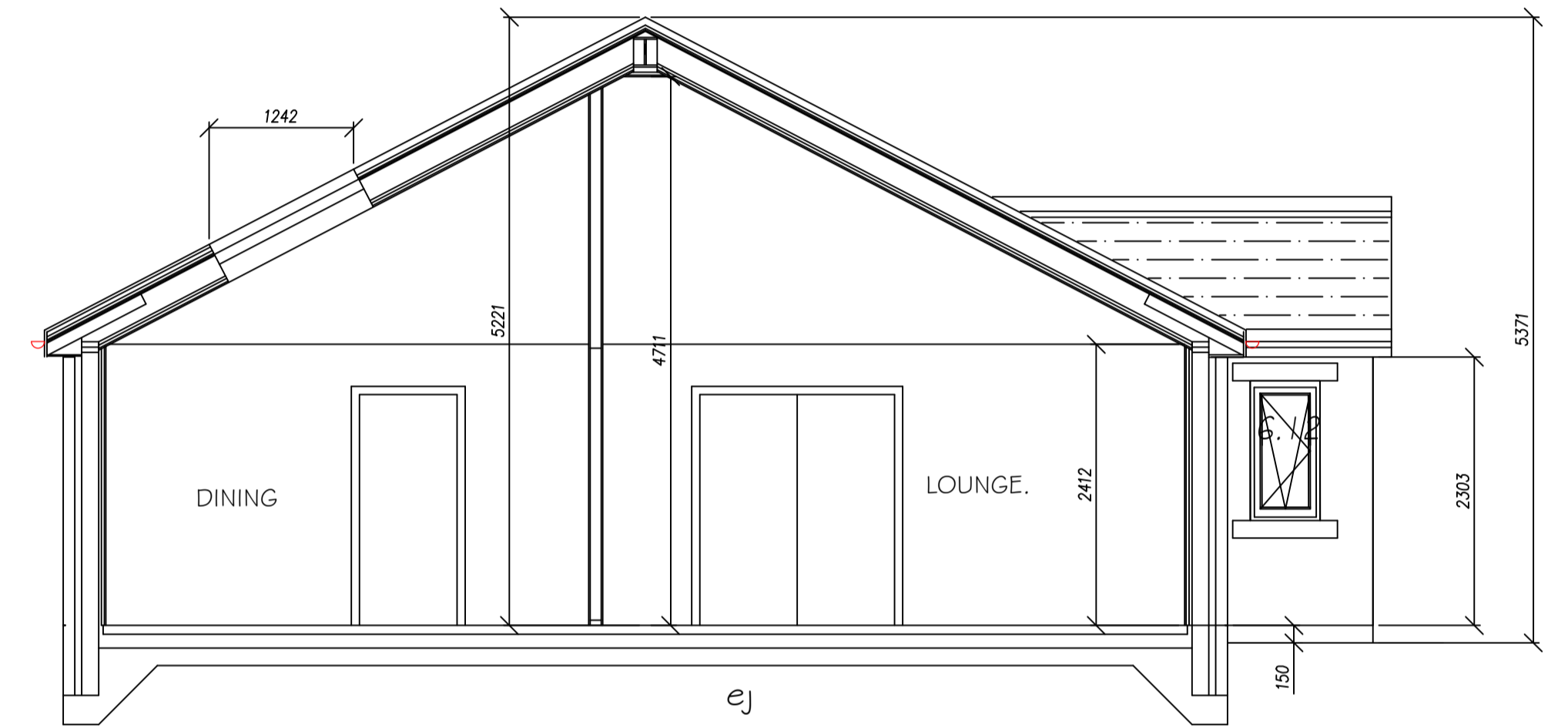
SCALEBAR 1:50 IN METRES.



FLOOR PLAN PLOT 3



SECTION B-B.



SECTION A-A.

**DO NOT SCALE FOR CONSTRUCTION
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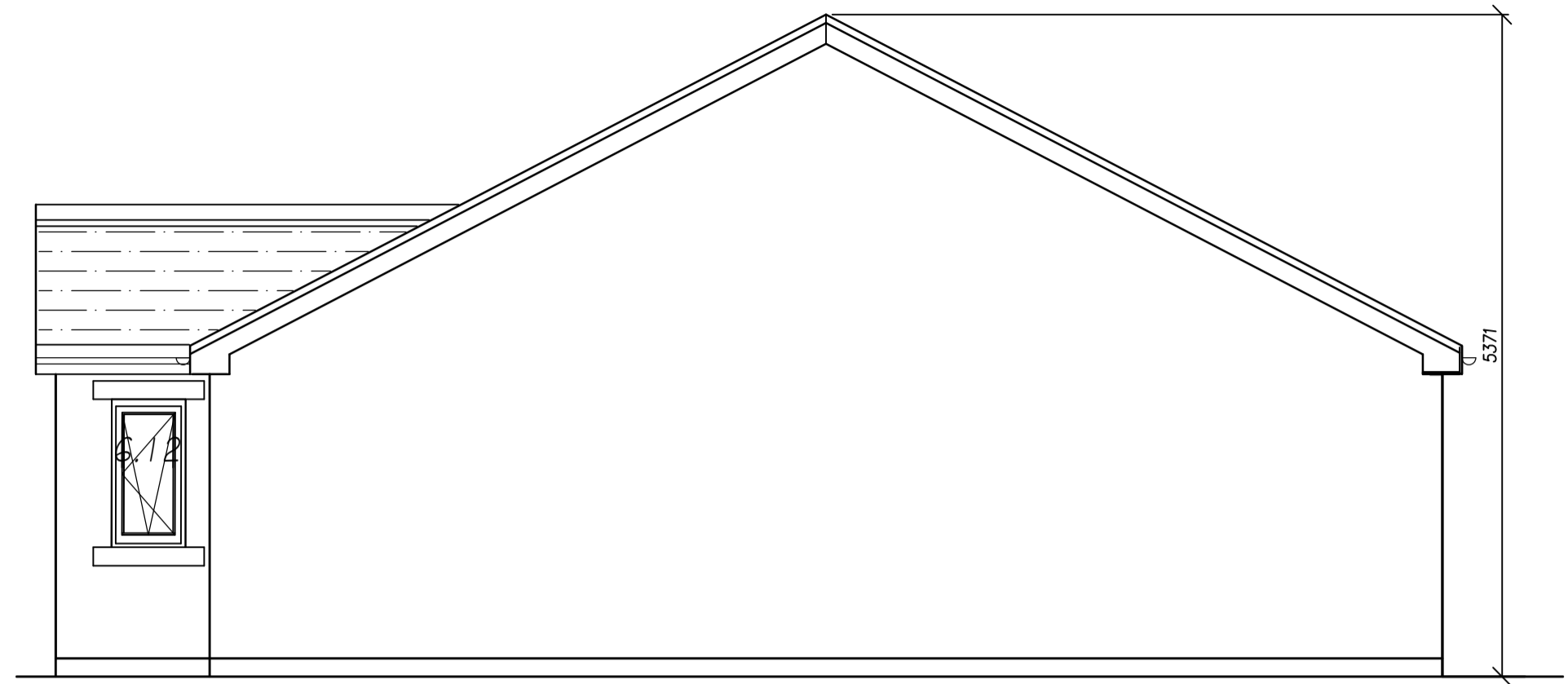
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DATE	REVISION	SIGNED	INDEX

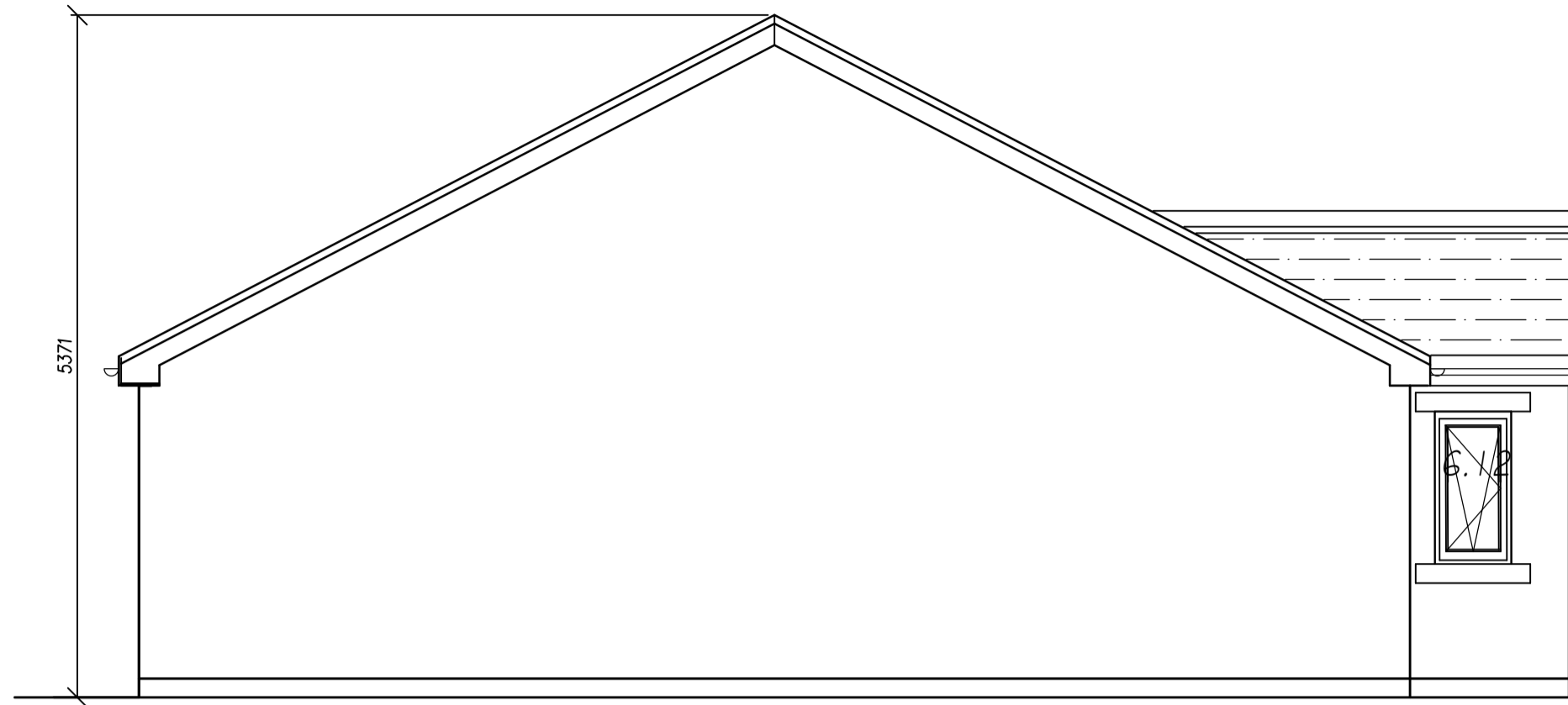
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 PLOT-3-PLANS-&SECTIONS.

FOR: FOR-ANDERSON,
 BELLFIELD-FARM-STEADINGS
 MILTON-OF-BALGOWNIE.

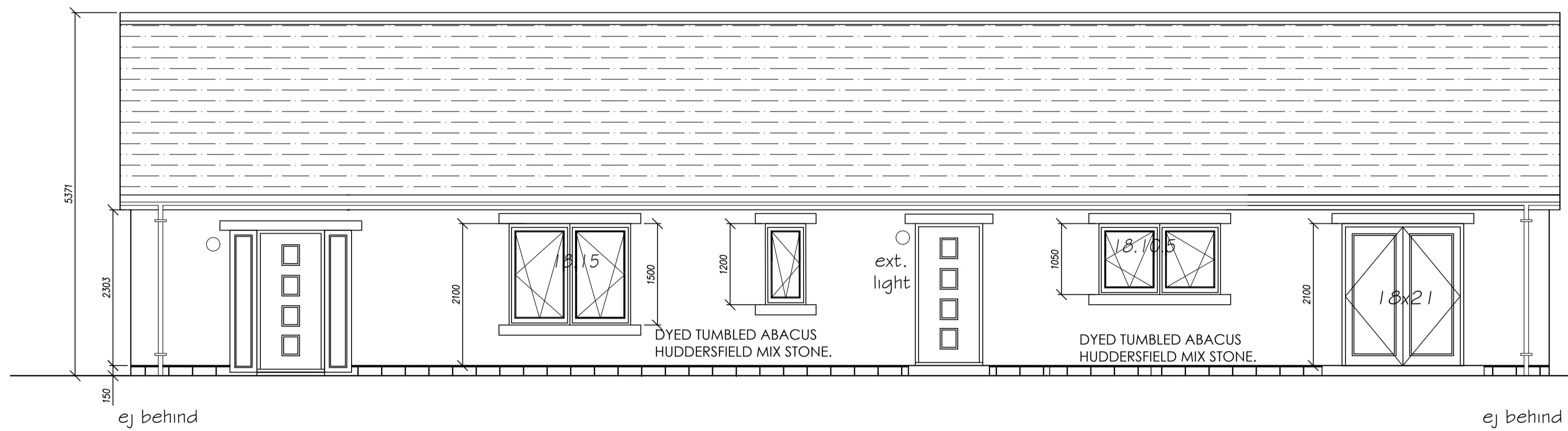
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	GM	-
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With the Extra Edge	Drawing No.	AA-PD-07-22
	Revision	-



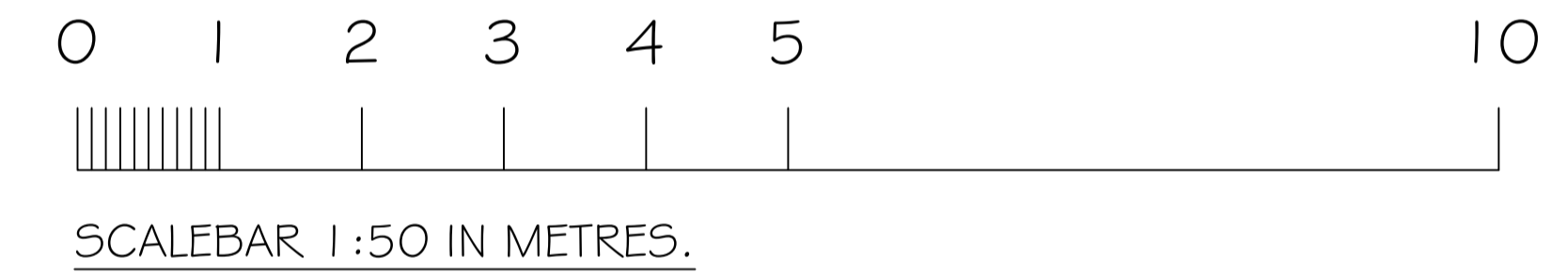
ej
SOUTH ELEVATION.



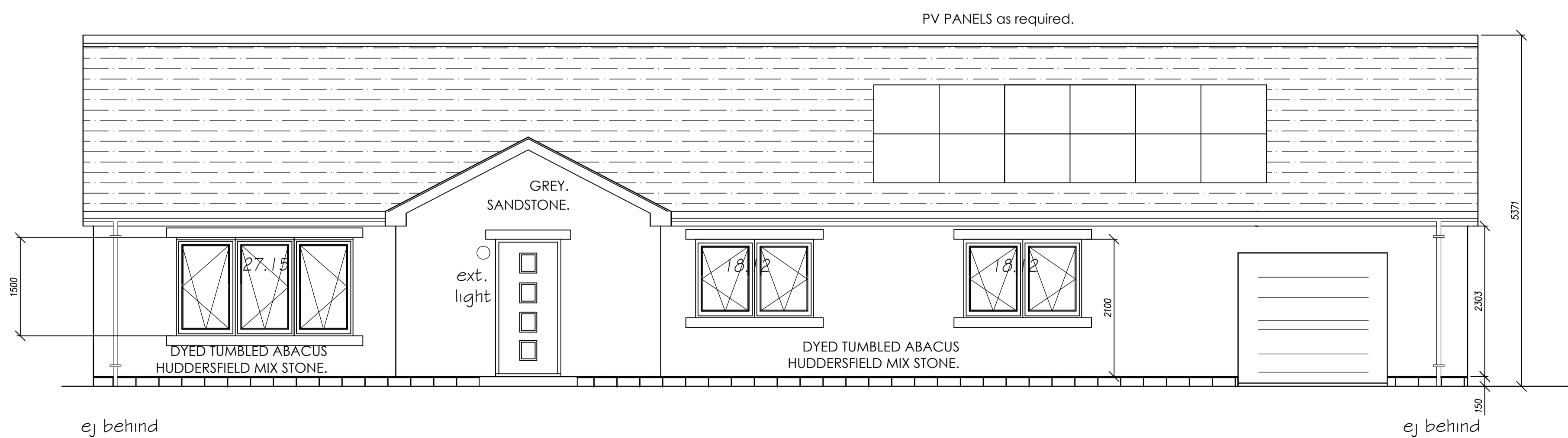
ej
NORTH ELEVATION.



ej behind
EAST ELEVATION



EXTERNAL FINISHES:
EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SANDSTONE, HUDDERSFIELD
MIX DYED AND TUMBLER ABACUS STONE.
BASE COURSE: GREY SANDSTONE.
WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
SOFFITS, FASCIAS: ANTHRACITE GREY UPVC.
GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.



ej behind
WEST ELEVATION

DO NOT SCALE FOR CONSTRUCTION
IF IN DOUBT - ASK!

NOTE
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ADDITIONALLY THE LOCAL AUTHORITY WHERE THE BUILDING
REGULATIONS APPLY.

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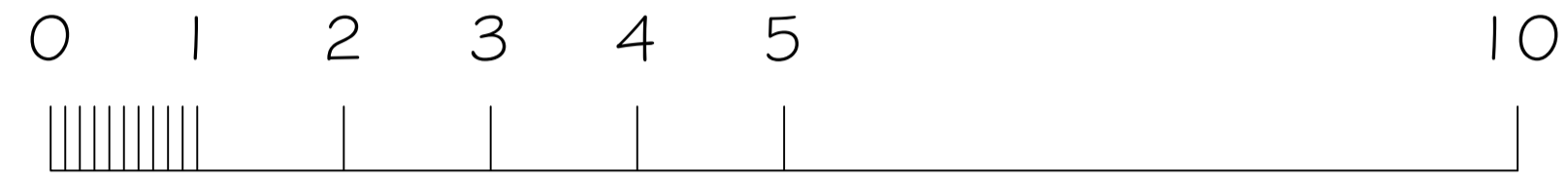
DATE	REVISION	SIGNED	INDEX

TITLE:
SPECIAL-HOUSETYPE.
PLOT-3-ELEVATIONS.

FOR: FOR-A-ANDERSON,
BELLFIELD-FARM-STEADINGS
MILTON-OF-BALGOWNIE.

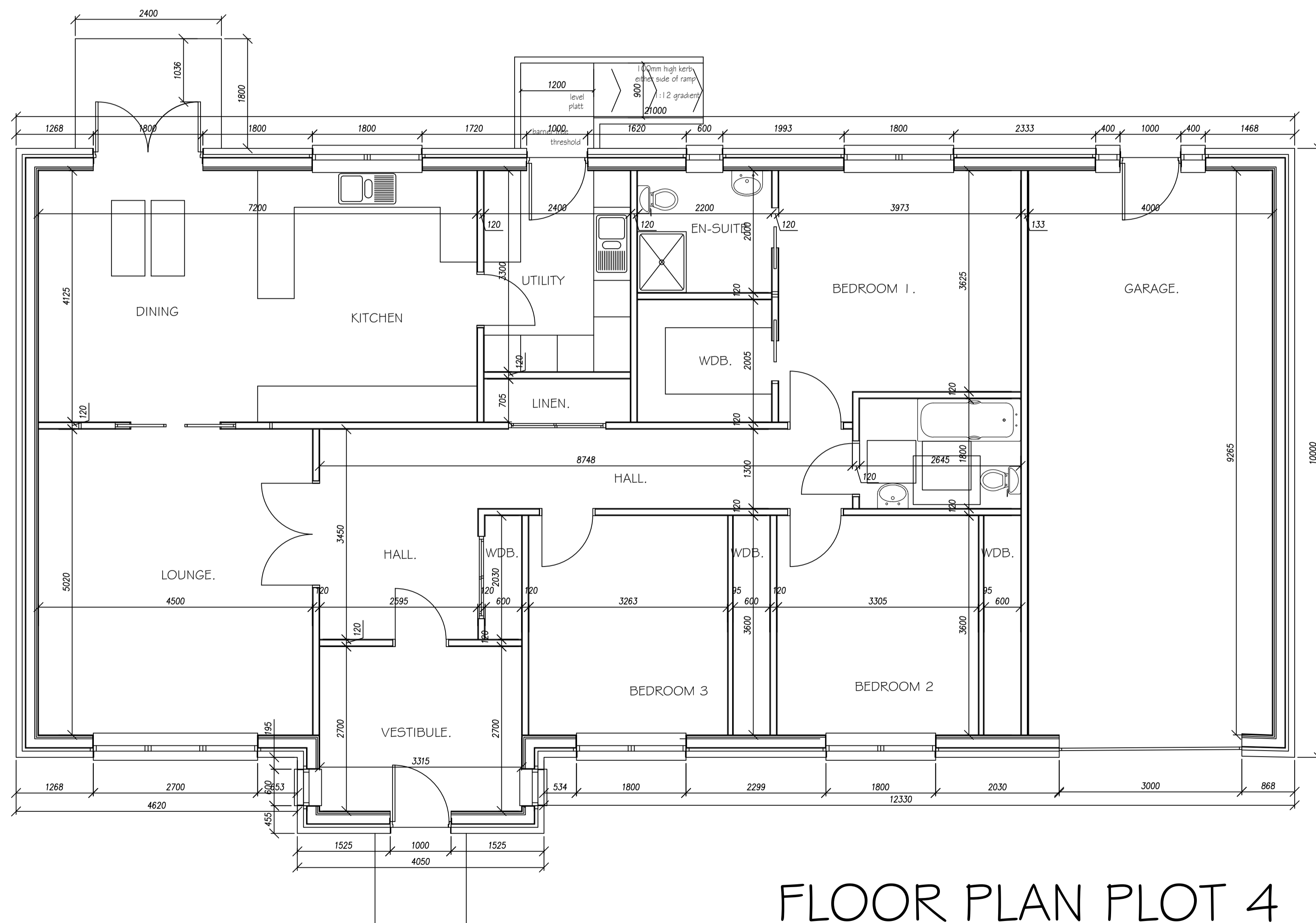
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	GM	-
CLAYMORE TIMBER FRAME LIMITED c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB. Tel/Fax :- 01337 827766 Email :- claymoretimberframe@yahoo.co.uk	Date	25-10-22.
	Scale	1:50.
With the Extra Edge	Drawing No.	AA-PD-08-22
	Revision	-

EXTERNAL FINISHES:
 EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SANDSTONE, HUDDERSFIELD MIX DYED AND TUMBLED ABACUS STONE.
 BASE COURSE: GREY SANDSTONE.
 WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
 SOFFITS, FASCIAS: ANTHRACITE GREY UPVC.
 GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
 ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.

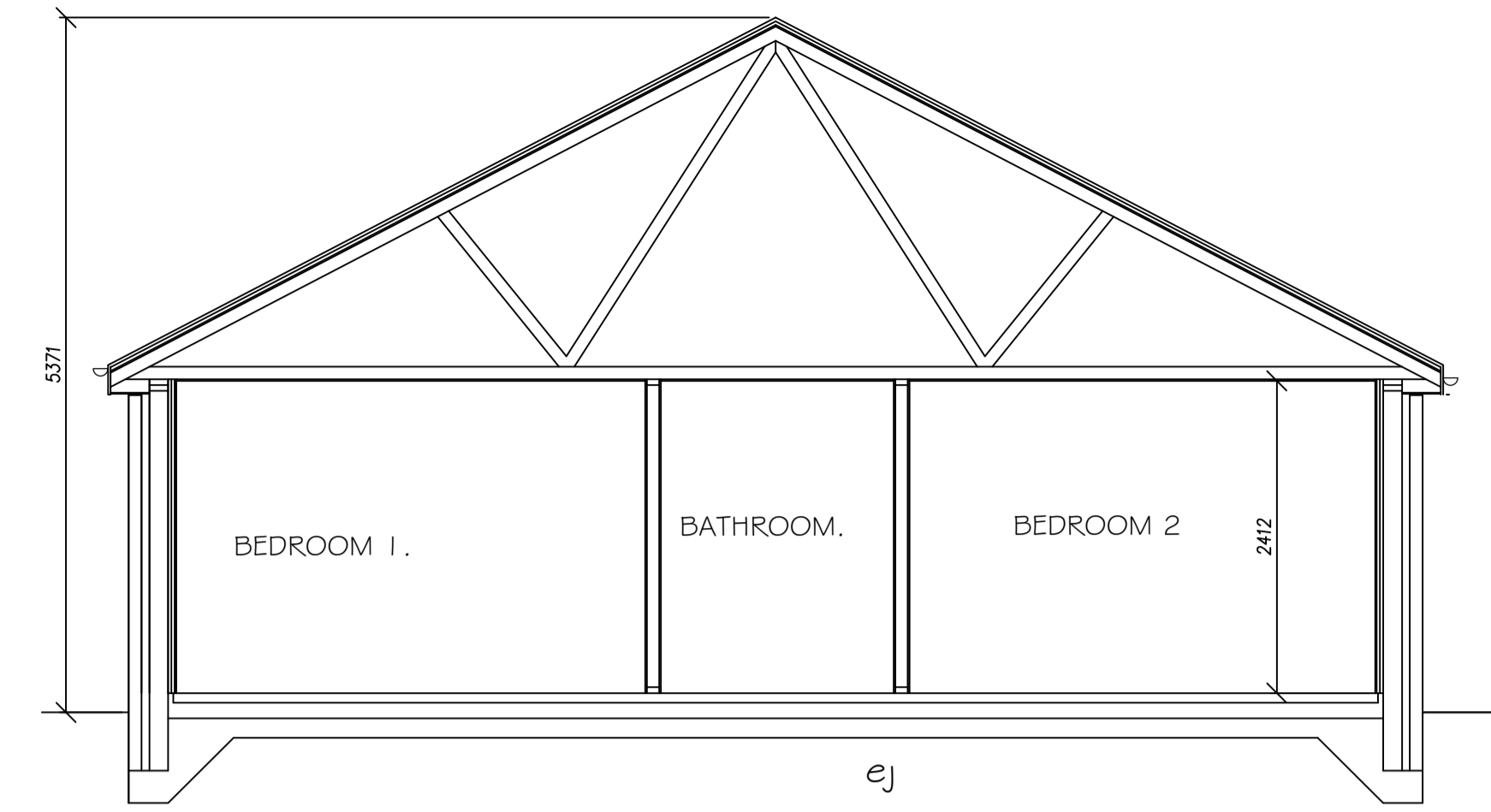


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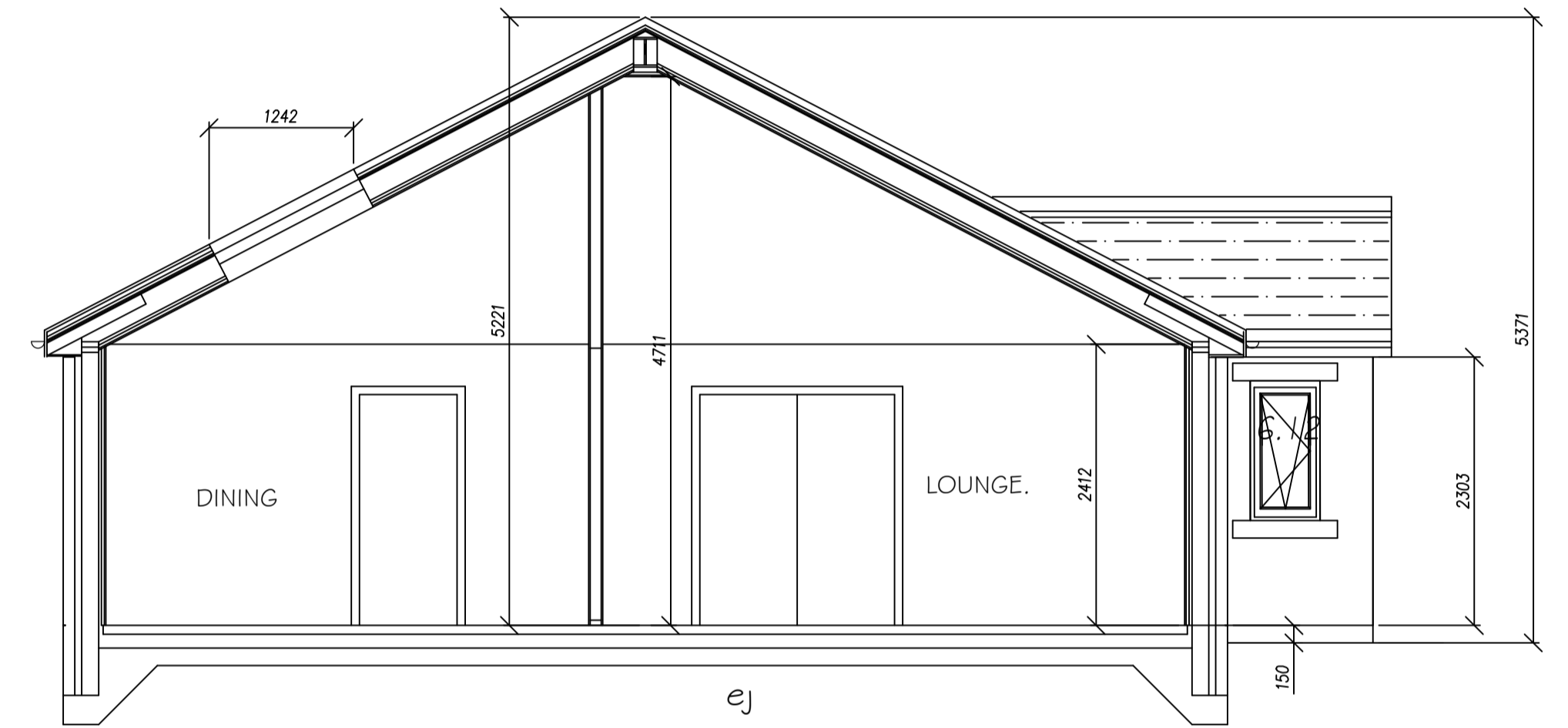
ABACUS STONE.



FLOOR PLAN PLOT 4



SECTION B-B.



SECTION A-A.

**DO NOT SCALE FOR CONSTRUCTION
 IF IN DOUBT - ASK!**

NOTE

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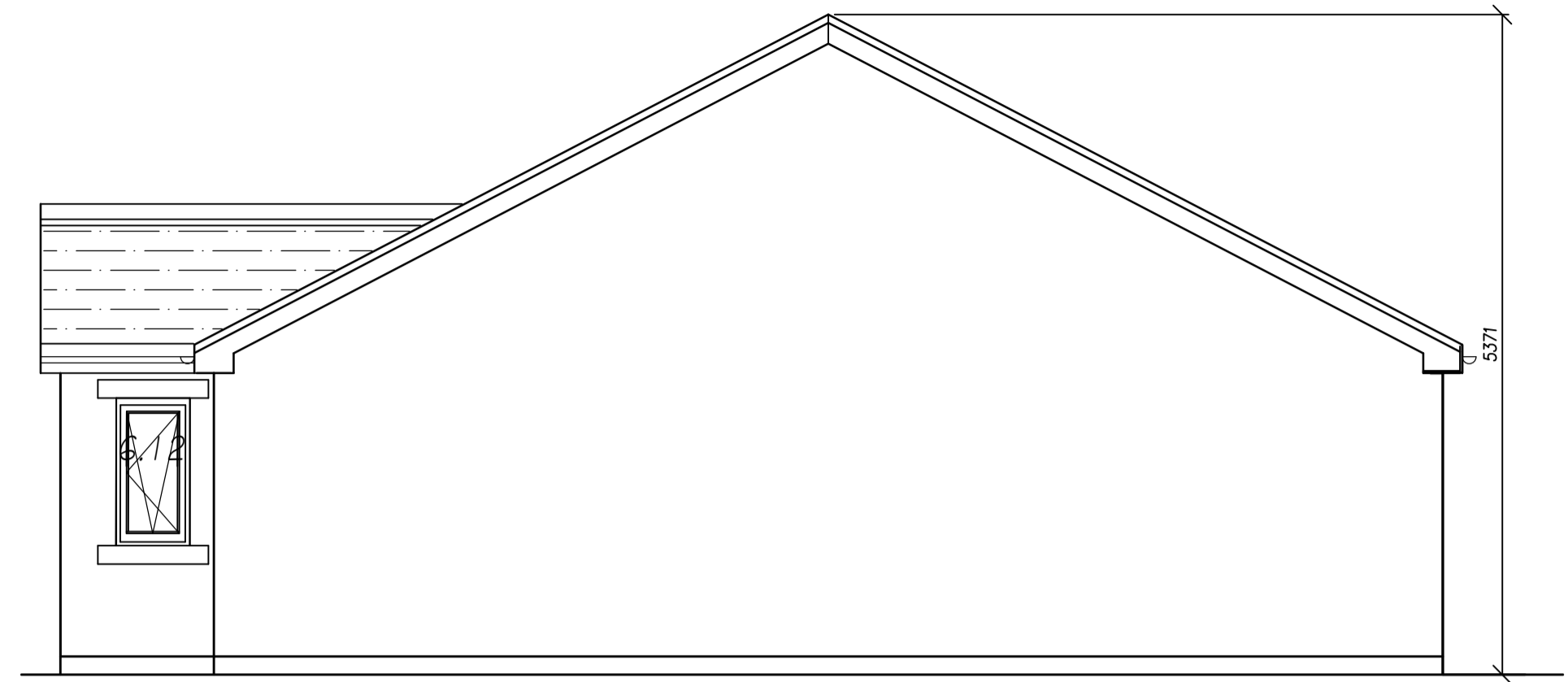
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DATE	REVISION	SIGNED INDEX

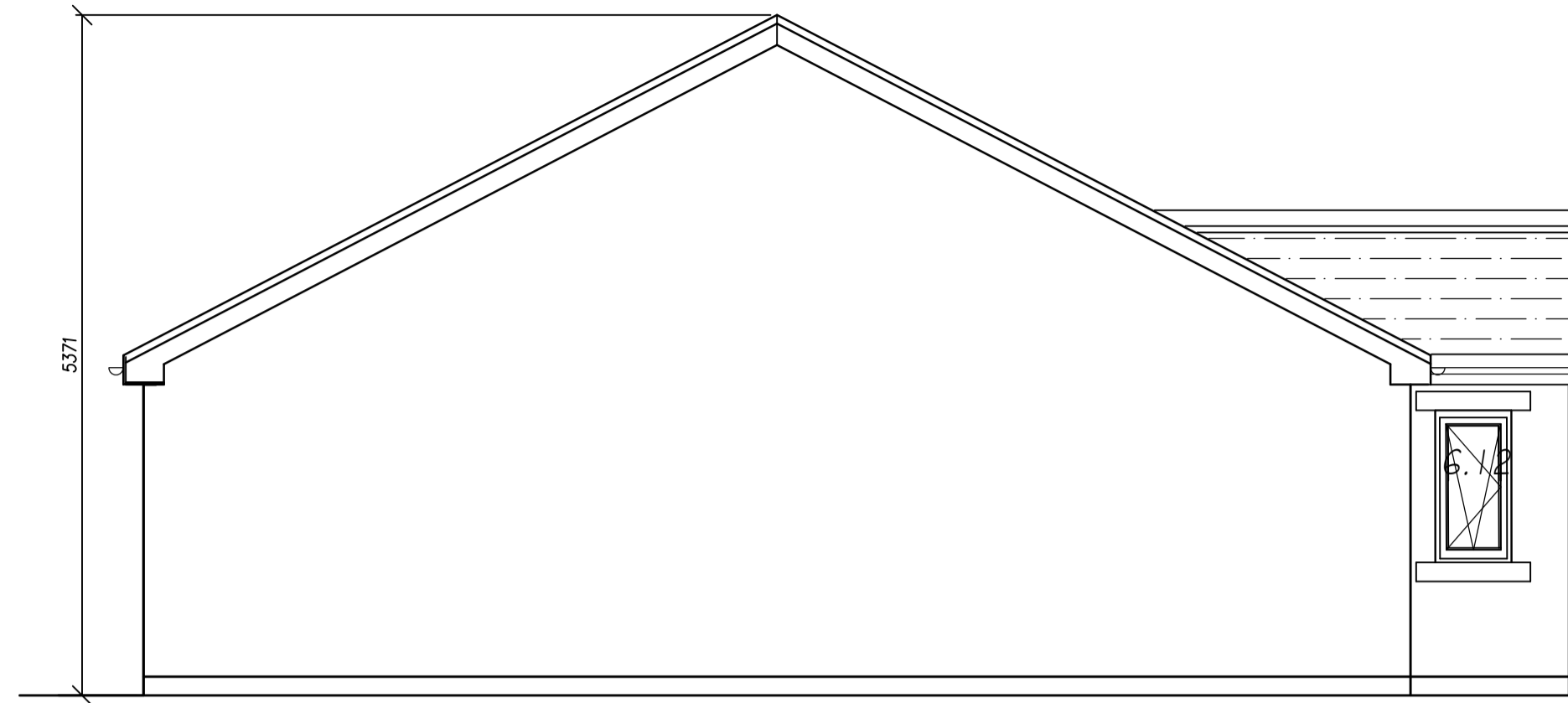
TITLE:
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 PLOT-4-PLANS-&SECTIONS.

FOR: FOR-ANDERSON,
 BELLFIELD-FARM-STEADINGS
 MILTON-OF-BALGOWNIE.

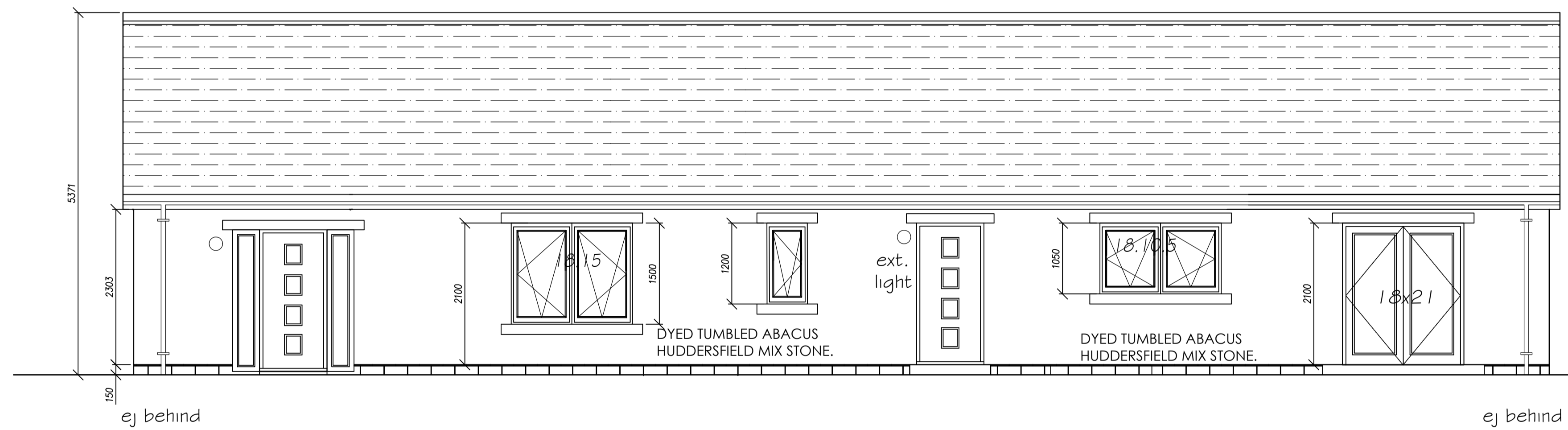
	Drawn by	Check by
	GM	-
CLAYMORE TIMBER FRAME LIMITED c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB. Tel/Fax :- 01337 827766 Email :- claymoretimberframe@yahoo.co.uk	Date	25-10-22.
	Scale	1:50.
With the Extra Edge	Drawing No.	AA-PD-09-22
	Revision	-



EAST ELEVATION.

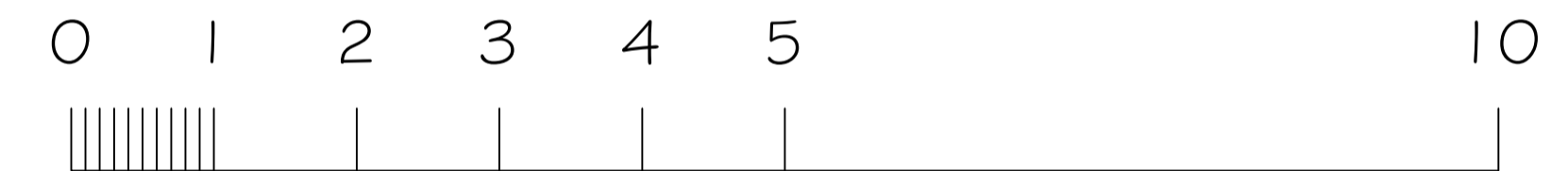


WEST ELEVATION.

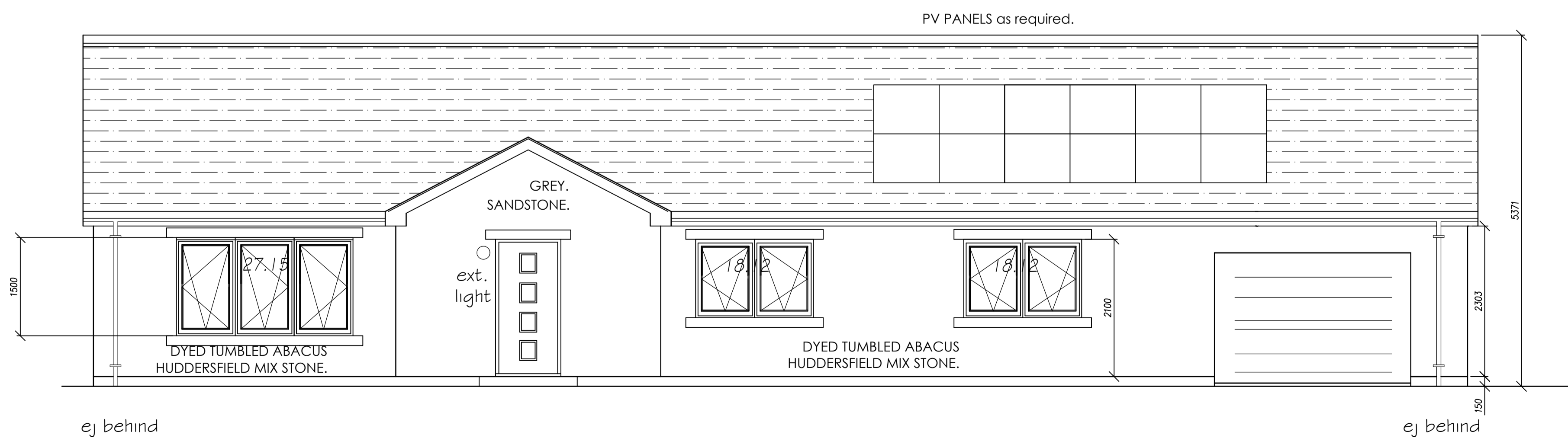


NORTH ELEVATION

EXTERNAL FINISHES:
EXTERNAL WALLS: ALL AS PER ELEVATIONS, GREY SANDSTONE, HUDDERSFIELD
MIX DYED AND TUMBLED ABACUS STONE.
BASE COURSE: GREY SANDSTONE.
WINDOWS & DOORS: ANTHRACITE GREY UPVC WINDOWS.
SOFFITS, FASCIA: ANTHRACITE GREY UPVC.
GUTTERS & DOWNPIPES: GALVANISED STEEL DOWNPIPES AND GUTTERING.
ROOF: SLATE LOOK ALIKE MARLEY MODERN GREY TILES OR EQUAL.



SCALEBAR 1:50 IN METRES.



SOUTH ELEVATION

DO NOT SCALE FOR CONSTRUCTION
IF IN DOUBT - ASK!

NOTE

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DATE	REVISION	SIGNED	INDEX

TITLE:
SPECIAL-HOUSETYPE.
PLOT-4-ELEVATIONS.

FOR: FOR-A-ANDERSON,
BELLFIELD-FARM-STEADINGS
MILTON-OF-BALGOWNIE.

<p>CLAYMORE TIMBER FRAME</p> <p>CLAYMORE TIMBER FRAME LIMITED c/o 1 REGENT TERRACE, DUNSHALT, FIFE, KY14 7HB. Tel/Fax :- 01337 827766 Email :- claymoretimberframe@yahoo.co.uk</p>	Drawn by	Check by
	GM	-
	Date	25-10-22.
	Scale	1:50.
	Drawing No.	AA-PD-10-22
With the Extra Edge	Revision	-

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
------------------------	------------------------	-----------	--

<p><u>Energy and Climate Change</u> Demonstrate that the application meets the CO² emissions reduction targets currently in place and that the required proportion of that reduction is met by low and zero carbon generation technologies.</p> <p>Improve the energy efficiency of both domestic and non-domestic buildings to minimise total whole-life energy consumption.</p> <p>Support the use of renewable energy rather than fossil fuel sources during concept/design as well as in-service phases with the ultimate aim of decarbonising the energy and heat supply. Improve resilience to climate change, including higher temperatures; changing patterns of precipitation; more frequent extreme weather events; rising sea levels. Impacts on flooding and water supply are addressed.</p>	<p>For Local Developments - Provide information of the energy efficiency measures taken and energy generating technologies associated with this application</p> <p>For Major Developments - An energy statement on intention is required. See Low Carbon Fife Supplementary Guidance page 59 for more information</p>	<p>Domestic Applications Proposals which are not heated or cooled (other than heating or frost protection).</p> <p>Conversion of buildings</p> <p>Small extensions in line with Building standards 6.1 exemptions</p> <p>Temporary buildings with an intended life of less than 2 years</p>	<p style="text-align: center;"><input type="checkbox"/></p> <p>Details: The proposal is for 4 Dwellings on the site, each house shall have suitable solar generation from PV panels which shall be fed back into the grid and reduce the carbon footprint, the houses will be insulated to a higher level than the backstop therefore reducing the heat needed and improving the carbon footprint.</p>
<p><u>Materials</u> Materials sourced from local or sustainable sources</p>	<p>A statement should be included setting out that the development will endeavour to provide the materials from local or sustainable sources. Additional detail should be included if available. See Making Fife's Places Supplementary Guidance page 37 for more information.</p>	<p>Domestic Applications</p>	<p style="text-align: center;"><input type="checkbox"/></p> <p>Details: The materials will be sourced from Home grown timber and companies used will be local companies which the applicant is</p>

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
			keen to utilise, thus reducing transport costs and improving the Carbon footprint.
<p><u>Sustainable Urban Drainage System (SUDS)</u> As our climate changes and more rainfall is predicted in many parts of the world, it is important that we control the impact of rainwater to prevent flooding or pollution of watercourses. Sustainable Urban Drainage measures need to be put in place to ensure that there will be no increase in the rate of surface water run-off in peak conditions or detrimental impact on the ecological quality of the water environment.</p>	<p>We require Compliance and Independent Check Certificate's to be submitted as per Fife Council's Sustainable Drainage Systems (SUDS) - Design Criteria Guidance Note</p> <p>See Making Fife's Places Supplementary Guidance page 14 for more information.</p>	<p>Domestic Applications</p> <p>Applications for erection of only one dwellinghouse</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: The drawings now include a full sustainable drainage scheme designed by the engineers with suitable soak aways and drainage infrastructure with treatment plants.</p>
<p><u>Waste</u></p> <p>Support applications that reduce the creation of waste. Facilities are provided for the separate collection of dry and recyclable waste and food waste. Drive the development of a plastic recycling facility</p>	<p>Planning Permission in Principle (PPP) Applications – A statement setting out that measures for the storage of dry recyclable waste and food waste will be provided as part of the development.</p> <p>Full Planning Permission Applications – Full details on how dry and recyclable waste and food waste will be stored.</p>	<p>Domestic Applications</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: Each house will have space for 4 bins o allow for LA recycling and waste shall be separated in the Utility/Recycling areas of each dwelling.</p>

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
<p><u>Travel and Transport</u></p> <p>Developments make a positive contribution towards the improvement of sustainable transport network.</p> <p>Promoting sustainable transport modes in the following order of priority: walking, cycling, public transport, cars.</p> <p>Reducing car dependency.</p> <p>Minimising the amount of travelling required, thus reducing greenhouse gas emissions, especially for air and road travel</p>	<p>PPP Applications – A statement should be included setting out the intended measures to encourage and facilitate the use of sustainable transport focusing on the order of priority.</p> <p>Full Planning Permission Applications – Full details on how the development encourages and facilitates the use of sustainable transport focusing on the order of priority.</p> <p>(Demonstrated through a Transport Assessment or Green Travel Plan).</p>	<p>Domestic Applications</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: The dwellings are in the countryside, but are within 500 Yards of Public transport. The houses are intended for workers in the area and there is a train station within 1 Mile with Links to All Major Cities.</p>
<p><u>Air Quality</u></p> <p>Address impacts on air quality by reducing congestion and address the poor air quality that already exists.</p>	<p>An Air Quality Impact Assessment is required where any of the following apply:</p> <ul style="list-style-type: none"> • For all applications subject to an Environmental Impact Assessment (listed in Environmental Impact Assessment (Scotland) Regulations 2017) or • 10 or more residential units or a site area of more than 0.5ha • More than 1,000m² of floor space for all other uses or a site area greater than 1ha <p>Coupled with any of the following:</p> <ul style="list-style-type: none"> • The development has more than 10 parking spaces • The development will have a centralised energy facility or other centralised combustion process <p>See Low Carbon Fife Supplementary Guidance Appendix D for more information</p>	<p>Domestic Applications</p> <p>Less than 10 residential units or a site area of less than 0.5ha</p> <p>Less than 1,000m² of floor space for all other uses or a site area smaller than 1ha</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: As there are only 4 dwellings there is no need to address this point.</p>

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
<p><u>District Heating</u></p> <p>All applications which create a heat demand or waste heat will be assessed to establish if district heating is likely to be a viable option. All applications for proposals which fit this description need to be tested against the district heating process map set out in section 3.2.2 of the Low Carbon Fife Supplementary Guidance (see page 64) - to establish if a further investigation into heat networks is required. To reduce the cost of heat supply and the carbon intensity of heat generation.</p>	<p>Depending on answers to the questions below will determine whether a further investigation is required</p> <p><i>Is the proposal within 1km of an existing or proposed heat network? (See Low Carbon Fife SG Appendix E for more information) If yes – has an indicative heat demand been provided for the development?</i></p> <p><i>Is further investigation into heat networks required? If yes - has a further investigation into heat networks been provided?</i></p> <p><i>Is the proposal for one of the following types of development?</i></p> <ul style="list-style-type: none"> • A public sector development; • A further education campus; • A proposal for over 10,000m2 non-domestic development with an anchor customer (anchor customers include swimming pools, hospitals, aqua-culture and industrial units or building with a significant and heat demand) • A mixed use development – with at least 50 residential units and at least 10,000m2 of buildings with the following uses, education, community and leisure, retail, healthcare, manufacturing/industrial <p><i>If yes – has information on the linear heat density of the development been provided? (see Low Carbon Fife SG section 3.2.2 for more information) Is the linear heat density 4 or over? (see Low Carbon Fife SG section 3.2.3 for more information) If yes – has further investigation into heat networks been provided?</i></p>	<p>Domestic Applications</p> <p>Applications out-with 1km of existing or proposed heat network and is not one of the following developments:</p> <ul style="list-style-type: none"> • A public sector development; • A further education campus; • A proposal for over 10,000m2 non-domestic development with an anchor customer (anchor customers include swimming pools, hospitals, aqua-culture and industrial units or indeed any other building with a significant and stable heat demand) • A mixed use development – with at least 50 residential units and at least 10,000m2 of buildings with the following uses, education, community and leisure, retail, healthcare, manufacturing/industrial <p>And does not have a total aggregate thermal input exceeding 20Megawatts</p>	<p style="text-align: center;"><input type="checkbox"/></p> <p>Details: Each house will have a suitably efficient boiler. The scheme is not large, so District heating would not be cost effective in this case.</p>

**MCGREGOR  MCMAHON
CONSULTING ENGINEERS**

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SITE VISIT REPORT

Project Name	Bellfield Farm Steadings, Milton of Balgonie	Project No	22721
Client	LN Henderson & Associates	Date & time of Visit	25/05/23 07.45 – 09.15
Weather	Dry with sunny spells, temperature +8 degrees		
Contractor's Resources on Site			
Labour/Personnel on site	Allan (Machine Operator)	Plant	1no 5tonne Excavator
Visitors to site			

VISIT NOTES

Reason for site visit was to carry out a few trial pits to try to find water table.

General notes

1. Attached are a series of photographs including an overmarked drawing showing trial pit locations.
2. Also attached are 2no trial pit logs.

PERSONAL RISK ASSESSMENT: I have reviewed Hazard Sheet A, B, C (circle as appropriate) and accept the risks attached to this site visit.

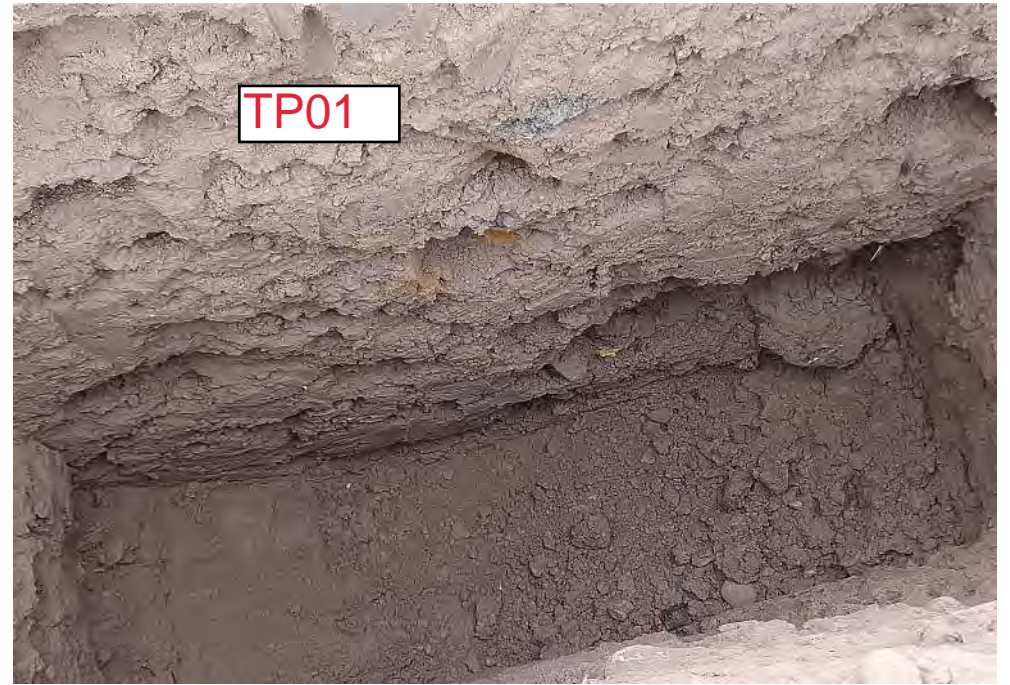
SITE VISIT MADE BY: F STEWART

SIGNED:

FormV1Ver3.1

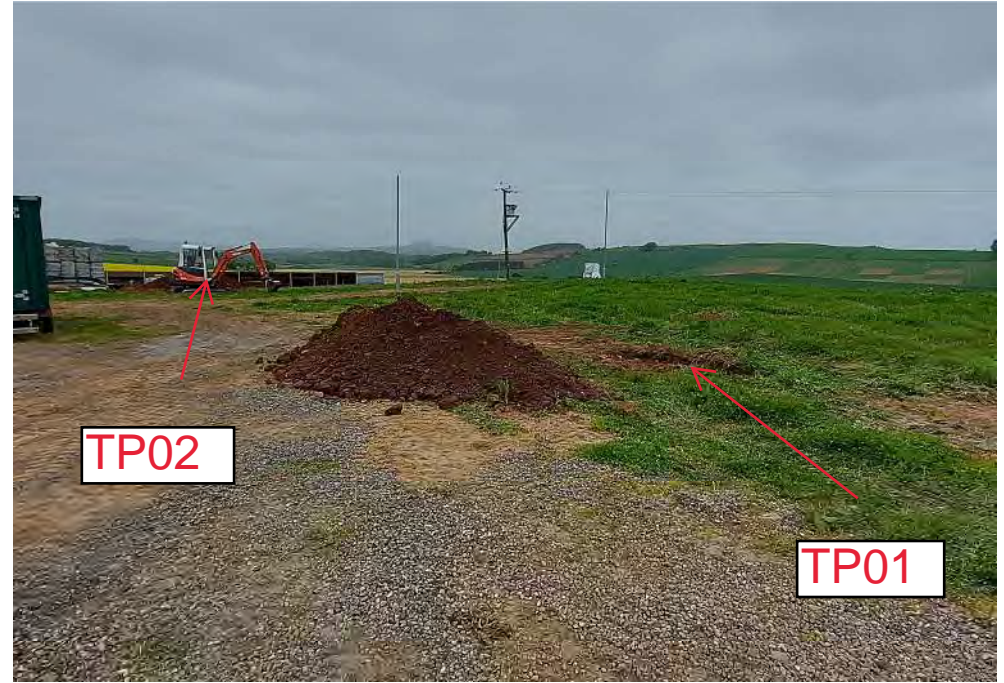
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Project MILTON of BALGONNE
BELLFIELD FARM STEADINGS

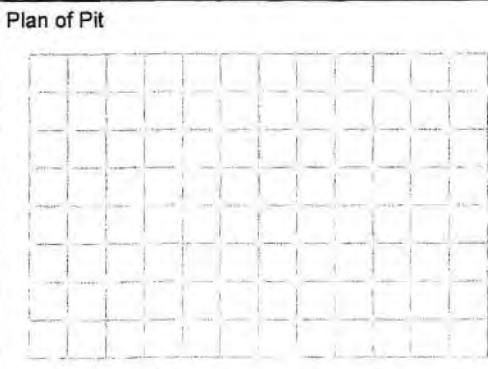
Trial Pit No.
TP01

Client LN HENDERSON & ASSOCIATES

Job No.
22721

Excavation Method: 5.70m EXCAVATOR
Pit Dimensions: VARIED
Weather: DRY
TEMPERATURE +12°
Date: 25-05-23
Drawn By: [Signature]
Logged By: [Signature]

Depth (m)	Sample / Tests	Field Records	Level (m) (AOD)	Depth (m) (Thickness)	Description	Legend
				0.2	Overlying grass on sandy slightly gravelly dark brown TOPSOIL	
				2.0	Fine to coarse reddish brown clayey sandy gravels. Inc localised patches of reddish brown slightly gravelly clayey sands. Gravel angular to rounded of mixed lithology	
				2.9	Firm reddish brown slightly gravelly sandy CLAY. Inc patches of possible mudstone. Inc fine to coarse patches of reddish brown slightly gravelly sands	
					Base of pit 2.9m high	



Key to Sample Numbers
B - Bulk sample
J - Jar Sample
T - Tub Sample
HV - Hand Vane

Remarks
Side walls Stable
No Water ingress

Location
Refer to a trial pit location plan

Scale
1:20

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Project **MILTON of BARGONNE**
BELFIELD FARM STADINGS
Client **LN HENDERSON & ASSOCIATES**
Trial Pit No. **TP02**
Job No. **22721**

Excavation Method **5-Tonne Excavator** Pit Dimensions **VARIABLE** Weather **Dry** Date **25-05-23** Drawn By **AS** Logged By **AS**
TEMPERATURE +120

Depth (m)	Sample / Tests	Field Records	Level (m) (AOD)	Depth (m) (Thickness)	Description	Legend
				0.3	Overlying grass on (disturbed) ground. Lm. fine to coarse brown clayey sands, lme metal and brick fragments.	
				1.9	fine to coarse reddish brown clayey sandy gravels, lme pockets of fine to mostly coarse reddish brown clayey gravelly sands	
				2.2	fine to coarse reddish brown clayey slightly gravelly sand.	
				3.1	Firm to firm to stiff in places of reddish brown sandy slightly gravelly CLAY. gravel angular to rounded.	
					Base of pit 3.1m hgt	

Plan of Pit	Key to Sample Numbers B - Bulk sample J - Jar Sample T - Tub Sample HV - Hand Vane	Remarks Sidenalls Stable No Water ingress
-------------	--	---

Location Refer to a trial pit location plan Scale 1:20

REV.	DATE	BY	DESCRIPTION	APP.



DRAINAGE NOTES

ALL DRAINAGE WORK SHALL BE CARRIED OUT TO "SEWERS FOR SCOTLAND" 4TH EDITION AND SHALL BE TO LOCAL AUTHORITY APPROVAL.
 ALL WORK TO BE ADOPTED SHALL BE TO THE APPROVAL OF SCOTTISH WATER. SCOTTISH WATER SHOULD BE NOTIFIED PRIOR TO ACCESSING OR ALTERATION TO ANY PUBLIC SEWERS.
 ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR.
 IN CASE OF DISCREPANCY BETWEEN DRAWINGS OR LACK OF DIMENSIONS THE CONTRACTOR SHOULD CONSULT MCGREGOR MCMAHON BEFORE WORKS PROCEED.
 NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.
 THE CONTRACTOR SHALL COVER THE LINE, LEVEL AND LOCATION OF ALL EXISTING DRAINAGE PRIOR TO PROCEEDING WITH WORKS.
 THE CONTRACTOR IS TO TEST ALL PIPEWORK PRIOR TO BACKFILLING. ALL TESTS TO BE WITNESSED AND RECORDED.
 ALL EXISTING SERVICES TO BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING.
 THE CONTRACTOR TO ALLOW FOR ALL TRAFFIC MANAGEMENT IN CONNECTION WITH ROAD & SEWER WORKS.
 ALL PIPEWORK IS TO BE LAD WITH SLOTTES LEVEL UNLESS NOTED OTHERWISE.
 ALL COVER LEVELS SHOWN ARE APPROXIMATE ONLY.
 ALL RAINWATER DOWNPIPES TO BE TRAPPED AND ROOFING EYES ARE TO BE SEALED.
 EVERY PART OF THE SOAKAWAY SHOULD BE LOCATED AT LEAST 5m FROM A BOUNDARY IN ORDER THAT AN ADJOINING PLOT IS NOT INHIBITED FROM ITS FULL DEVELOPMENT POTENTIAL.
 EVERY PART OF A PRIVATE WASTEWATER PLANT SHOULD BE LOCATED AT LEAST 5m FROM A DWELLING.
 A PRIVATE WASTEWATER TREATMENT PLANT SHOULD BE PROVIDED WITH AN ACCESS FOR DESLUDGING. THE DESLUDGING TANKER SHOULD BE PROVIDED WITH ACCESS TO A WORKING AREA THAT WILL PROVIDE A CLEAR ROUTE FOR THE SUCTION HOSE FROM THE TANKER TO THE TANK AND IS NOT MORE THAN 25m FROM THE TANK WHERE IT IS NOT MORE THAN 4m HIGHER THAN THE INVERT LEVEL OF THE TANK AND IS SUFFICIENT TO SUPPORT A VEHICLE AXLE LOAD OF 14 TONNES.
 EVERY DWELLING WITH A DRAINAGE SYSTEM DISCHARGING TO A PRIVATE WASTEWATER TREATMENT PLANT SHOULD BE PROVIDED WITH A LABEL TO ALERT THE OCCUPYERS TO SUCH AN ARRANGEMENT. THE LABEL SHOULD DESCRIBE THE RECOMMENDED MAINTENANCE NECESSARY FOR THE SYSTEM AND SHOULD INCLUDE THE FOLLOWING:
 THE DRAINAGE SYSTEM FROM THIS PROPERTY DISCHARGES TO A WASTEWATER TREATMENT PLANT. THE OWNER IS LEGALLY RESPONSIBLE FOR ROUTINE MAINTENANCE AND TO ENSURE THAT THE SYSTEM COMPLIES WITH ANY DISCHARGE CONSENT ISSUED BY SEPA AND THAT IT DOES NOT PRESENT A HEALTH HAZARD OR A NUISANCE.
 THE LABEL SHOULD BE LOCATED ADJACENT TO THE GAS OR ELECTRICITY CONSUMER UNIT OR THE WATER STOPCOCK.

WHERE PIPES PASS THROUGH UNDERBUILDING PROVIDE PG LINTOLS OVER PIPE

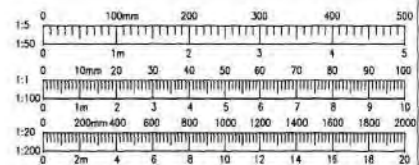
SUDS TREATMENT TRAIN-

- ROOF WATER RUNOFF WILL BE COLLECTED BY UPVIC RAINWATER GOODS AND BE TAKEN DOWN THROUGH RWPA, DRAINAGE PIPES AND INSPECTION CHAMBERS
- RUNOFF TAKEN TO THROUGH GRAVEL FILTER TRENCHES WITHIN EACH PLOT TO PROVIDE TREATMENT TO RUNOFF PRIOR TO CONNECTION TO CELLULAR SOAKAWAY STRUCTURE. A SILT TRAP IS LOCATED AT EVERY CONNECTION TO THE CELLULAR SOAKAWAY
- THIS PROVIDES SUFFICIENT TREATMENT OF THE COMBINED POLLUTION MITIGATION INDICES IN ACCORDANCE WITH THE SEPA SIA TOOL

ON COMMENCEMENT OF CONSTRUCTION A FULL CONSTRUCTION STATUS SUDS PLAN SHOULD BE IN PLACE, MANAGED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THE SITE MANAGER(S). IT IS THE SITE MANAGER'S RESPONSIBILITY TO ENSURE THAT THIS CONSTRUCTION STATUS SUDS IS FULLY COMPLIANT WITH THE RELEVANT LEGISLATION (CURRENTLY CAR/COR10).

HEALTH AND SAFETY

THE DESIGN HAS HIGHLIGHTED ONLY COMMON HAZARDS, WHICH ARE CONSIDERED TO BE WITHIN THE NORMAL EXPERIENCE OF A COMPETENT CONTRACTOR.



DRAWING STATUS: **PLANNING**

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PROJECT: **PROPOSED DEVELOPMENT AT BELLFIELD FARM STEADINGS MILTON OF BALGONIE**

TITLE: **DRAINAGE LAYOUT**

SCALE	DATE	DRAWN	APPROVED	APP.
1:100	APR 23	STC	KDS	A1

DRAWING No.	REV.
22721-200	

Handwritten signature and date:
 25/5/23

**PROPOSED DEVELOPMENT AT
BELLFIELD FARM
MILTON OF BALGONIE**

DRAINAGE REPORT

**PREPARED FOR
MS ALYSON ANDERSON**

Quality Management

Issue/revision	ORIGINAL	Revision A	Revision B	Revision C
Remarks	Final			
Date	20/04/2023			
Prepared by	Scott Christie			
Checked by	Ken Simpson			
Project number	22721			
File reference	22721 Drainage Report			

Document Reference 22721 – Drainage Report

Revision -



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Design Criteria Summary

McGregor McMahon Consulting Engineers have been instructed by Ms Alyson Anderson to provide a drainage layout and calculations for a proposed development of 4 detached dwelling houses at Bellfield Farm, Milton of Balgonie.

The development was previously approved under planning reference 19/02655/FULL, the proposed site layout has been revised by the client and a new planning application is being made due to the revised layout.

Foul Drainage

There are no Scottish Water sewers in the vicinity of the development therefore a private treatment plant with soakaway is proposed to serve the development.

Surface Water Drainage

The surface water drainage solution in previous planning approval was for cellular soakaways to be used to store and dispose of the surface water runoff.

Copies of the percolation and site investigation information is contained in Appendix A.

The soil infiltration rate for the site was calculated at 1.4E-05m/s Which is 0.0504m/hr.

The previous calculations were to FSR rainfall rates and 20% climate change, we have re-assessed the proposed cellular soakaways and have applied the FEH-13 rainfall rates and 39% climate change with 10% additional area in accordance with the current Fife Council requirements.

As per current guidelines soakaways should be placed 5m from any buildings, the soakaways have been dimensioned on drawing 22721-200 showing that this dimension has been met in all directions however due to these dimensions we have provided 2 shared soakaways between the 4 dwellings- Plots 1 and 4 share a soakaway and Plots 2 and 3 share a soakaway.

A gravel treatment trench will be provided in each plot with a silt trap provided at all upstream connections to the soakaway. This provides adequate treatment to the surface water runoff in accordance with the SEPA SIA tool, this can be viewed in Appendix C.

The hard area from Plots 1 & 4 is 448m², a cellular soakaway is proposed sized with a 26.88m² area at 1.64m deep giving a total storage volume of 44.08m³- this has been modelled in Causeway Flow software, a copy of the calculations can be viewed in Appendix B.



The hard area from Plots 2 & 3 is 478m², a cellular soakaway is proposed sized with a 36.48m² area at 1.64m deep giving a total storage volume of 59.82m³- this has been modelled in Causeway Flow software, a copy of the calculations can be viewed in Appendix B.

The proposed cellular soakaways can store and manage the surface water runoff in all events up to and including a 1:200 year event including 39% climate change and 10% additional area, therefore the proposed soakaways are an adequate surface water solution for the development.

Maintenance

In summary, the owners of the properties will be responsible for the following areas related to the surface water drainage.

Drainage Component	Maintenance Arrangements	Maintenance By
Piped Storm Drainage	Clear by rodding or high-pressure jetting if these become blocked	Owners of dwellings
Cellular Soakaway	Silt traps be inspected and emptied as required every six months to ensure that they continue to provide protection to the soakaway. Vertical inspection pipes within soakaway to be inspected periodically to monitor water level within soakaway. Inspection should also be carried out on days preceding intense storm event to ensure soakaway is operating effectively / emptying	Owners of dwellings
Gravel Treatment Trenches	Remove litter (including leaf litter) and debris from filter drain surface, access chambers and pre-treatment devices on a monthly basis, Inspect filter drain surface, inlet/outlet pipework for blockages, clogging, standing water and structural damage on a monthly basis	Owners of dwellings

Groundwater Assessment

Trial pits were carried out on the site and all pits remained dry, the site is on an elevated parcel of land therefore we do not believe that the soakaways are at risk from groundwater.

Refer to Appendix A.



Conclusions

The proposed cellular soakaways can store and manage the surface water runoff in all events up to and including a 1:200 year event including 39% climate change and 10% additional area, therefore the proposed soakaways are an adequate surface water solution for the development.

Scott Christie

Direct Email stc@mmaeng.com



Appendix A – Engineering Information from Application Ref:19/02655/FULL





GD/19101

18th August 2020

PERCOLATION TEST REPORT

*Development adjacent to Bellfield Farm, Milton of Balgonie, Fife
For Mr A Brown*

An investigation was undertaken to determine the ground conditions at the above and their suitability for use as a sub-surface soakaway to dispose of surface water and effluent from the proposed four house development at the above site.

The tests were carried out on the site of the proposed soakaways in accordance with Scottish Building Standards Technical Handbook 2015; 3.9.1 on the 18th August 2020. The weather conditions prior to the test had been mostly warm and dry with some periodic light rainfall.

The tests were carried out in the sandy stoney clay layer below the topsoil, which indicated an average VP after priming of 49 s/mm. The soakaway area required to drain effluent from the proposed houses assuming a PE of 20 (2No. 3 bedroomed houses and 2No 4 bedroomed houses with 0.9 reduction factor) and the provision of a treatment plant providing secondary treatment would be $VP \times 0.2 \times P = 196m^2$.

Therefore we confirm that disposal of effluent from the proposed houses could be by a soakaway which would provide a satisfactory solution provided it is installed correctly and maintained during its life, which could include replacing the gravel material.

The surface water should be taken to a soakaway sized as per LNH calculation sheets.

Therefore we conclude that the disposal of effluent discharge and surface water from the proposed house should be detailed as shown on LNH drawing no. 19101-D1.

It must be emphasised that ground conditions revealed during the works should match the conditions deemed suitable in this report; otherwise, the engineer should be informed immediately.

It should be noted that the soakaway should not be within 5m of any building or boundary. The soakaway is also required to be at least 10m from any watercourse (i.e. stream, river, etc.). What's more the soakaway cannot be any closer 50m from any spring, well or borehole used as a drinking water supply.

G Donaldson

**L.N. Henderson & Associates
Consulting Engineers, Dundee**



consultancy engineering business environment

Association of Consulting Engineers Member Firm

E.L.J. HENDERSON BSc CEng MStructE MASCE MConsP

CALCULATION SHEET

Contract: DEVELOPMENT AT MILTON OF BALGONIE, FIFE		Job No. 19101
Part of Structure:		Calc. Sheet No.
Revision.	Calcs. By: GD	Checked By:
		Date: 19/10/2020



**L.N. HENDERSON + ASSOCIATES
CONSULTING ENGINEERS**

SUMMARY

The proposals are to construct four new detached dwellings at the above site.

To conform with Fife Council SuDS policies the development is to contain runoff from a 1:200 +20% storm event within the site boundaries. Due to the raised nature of the site any surface runoff would leave the site boundaries and therefore we have proposed to store and dispose of the runoff from the full event within the infiltration system.

Due to the space required for the infiltration systems plot 1 will be split into two smaller systems and the remaining houses will have a single system each.

L.N. HENDERSON & ASSOCIATES CONSULTING ENGINEERS

125 NETHERGATE, DUNDEE DD1 4DW

TEL: 01382 221607 FAX: 01382 202071 EMAIL: mail@lnhenderson.co.uk

JOB: Development at Milton of Balgonie, Fife - Plot 1
 JOB NO: 19101 BY: GD DATE: 19-Oct-20

INFILTRATION SYSTEM TO BRE 365 - REV A

r =	0.3
M5 rainfall =	14
Climate change =	20%
Area =	Scotland and Northern Ireland
Storm =	200 year
Drained area =	156 m ²
Area factor =	110%
Effective area =	172 m ²

STORAGE SYSTEM

Storage system type =

Length m	Width m	Depth m	Voids %	Volume m ³
3.2	2.4	1.64	95	11.97

VP =	49	s/mm
Factor of safety =	1.5	
Soil infiltration rate =	1.4E-05	m/s
as50 =	9.2	m ²
ts50 =	13.3	hrs

D mins	Z1	Z2	R mm	In m ³	Out m ³	Store m ³	H m
5	0.34	2.40	13.71	2.35	0.04	2.31	0.19
10	0.49	2.40	19.76	3.39	0.08	3.31	0.28
15	0.59	2.40	23.79	4.08	0.11	3.97	0.33
30	0.77	2.40	31.05	5.33	0.23	5.10	0.43
60	1.00	2.40	40.32	6.92	0.45	6.47	0.54
120	1.25	2.40	50.40	8.65	0.90	7.75	0.65
240	1.57	2.40	63.30	10.86	1.80	9.06	0.76
360	1.78	2.40	71.77	12.32	2.70	9.62	0.80
600	2.12	2.40	85.48	14.67	4.51	10.16	0.85
1440	2.84	2.40	114.51	19.65	10.81	8.84	0.74
1800	2.98	2.40	120.15	20.62	13.52	7.10	0.59
2160	3.16	2.40	127.41	21.86	16.22	5.64	0.47
2520	3.34	2.40	134.67	23.11	18.93	4.18	0.35
2880	3.53	2.40	142.33	24.42	21.63	2.79	0.23

Free capacity = 1.80 m³

L.N. HENDERSON & ASSOCIATES CONSULTING ENGINEERS

125 NETHERGATE, DUNDEE DD1 4DW

TEL: 01382 221607 FAX: 01382 202071 EMAIL: mail@lnhenderson.co.uk

JOB: Development at Milton of Balgonie, Fife - Plot 2
 JOB NO: 19101 BY: GD DATE: 19-Oct-20

INFILTRATION SYSTEM TO BRE 365 - REV A

r =	0.3	
M5 rainfall =	14	
Climate change =	20%	
Area =	Scotland and Northern Ireland	
Storm =	200	year
Drained area =	201	m ²
Area factor =	110%	
Effective area =	221	m ²

STORAGE SYSTEM

Storage system type =

Storage Crates

Length m	Width m	Depth m	Voids %		Volume m ³
5.6	3.2	1	95	=	<u>17.02</u>

VP =	49	s/mm
Factor of safety =	1.5	
Soil infiltration rate =	1.4E-05	m/s
as50 =	8.8	m ²
ts50 =	<u>19.7</u>	hrs

D mins	Z1	Z2	R mm	In m ³	Out m ³	Store m ³	H m
5	0.34	2.40	13.71	3.03	0.04	2.99	0.18
10	0.49	2.40	19.76	4.37	0.07	4.30	0.25
15	0.59	2.40	23.79	5.26	0.11	5.15	0.30
30	0.77	2.40	31.05	6.86	0.22	6.64	0.39
60	1.00	2.40	40.32	8.91	0.43	8.48	0.50
120	1.25	2.40	50.40	11.14	0.86	10.28	0.60
240	1.57	2.40	63.30	14.00	1.72	12.28	0.72
360	1.78	2.40	71.77	15.87	2.59	13.28	0.78
600	2.12	2.40	85.48	18.90	4.31	14.59	0.86
1440	2.84	2.40	114.51	25.32	10.34	14.98	0.88
1800	2.98	2.40	120.15	26.57	12.93	13.64	0.80
2160	3.16	2.40	127.41	28.17	15.52	12.65	0.74
2520	3.34	2.40	134.67	29.78	18.10	11.68	0.69
2880	3.53	2.40	142.33	31.47	20.69	10.78	0.63

Free capacity = **2.05** m³

L.N. HENDERSON & ASSOCIATES CONSULTING ENGINEERS

125 NETHERGATE, DUNDEE DD1 4DW

TEL: 01382 221607 FAX: 01382 202071 EMAIL: mail@lnhenderson.co.uk

JOB: Development at Milton of Balgonie, Fife - Plot 3&4
 JOB NO: 19101 BY: GD DATE: 19-Oct-20

INFILTRATION SYSTEM TO BRE 365 - REV A

r =	0.3
M5 rainfall =	14
Climate change =	20%
Area =	Scotland and Northern Ireland
Storm =	200 year
Drained area =	112 m ²
Area factor =	110%
Effective area =	123 m ²

STORAGE SYSTEM

Storage system type =

Length m	Width m	Depth m	Voids %	Volume m ³
4	2.4	1	95	9.12

VP =	49	s/mm
Factor of safety =	1.5	
Soil infiltration rate =	1.4E-05	m/s
as50 =	6.4	m ²
ts50 =	14.5	hrs

D mins	Z1	Z2	R mm	In m ³	Out m ³	Store m ³	H m
5	0.34	2.40	13.71	1.69	0.03	1.66	0.18
10	0.49	2.40	19.76	2.43	0.05	2.38	0.26
15	0.59	2.40	23.79	2.93	0.08	2.85	0.31
30	0.77	2.40	31.05	3.82	0.16	3.66	0.40
60	1.00	2.40	40.32	4.97	0.31	4.66	0.51
120	1.25	2.40	50.40	6.21	0.63	5.58	0.61
240	1.57	2.40	63.30	7.80	1.25	6.55	0.72
360	1.78	2.40	71.77	8.84	1.88	6.96	0.76
600	2.12	2.40	85.48	10.53	3.13	7.40	0.81
1440	2.84	2.40	114.51	14.11	7.52	6.59	0.72
1800	2.98	2.40	120.15	14.80	9.40	5.40	0.59
2160	3.16	2.40	127.41	15.70	11.28	4.42	0.48
2520	3.34	2.40	134.67	16.59	13.17	3.42	0.38
2880	3.53	2.40	142.33	17.54	15.05	2.49	0.27

Free capacity = **1.72** m³



GD/19101

18th August 2020

SITE INVESTIGATION REPORT

Development adjacent to Bellfield Farm, Milton of Balgonie, Fife For Mr A Brown

A site investigation was undertaken on 18th August 2020 at the above to determine the subsoil conditions and their suitability for the proposed four houses at the above site.

Our investigations consisted of a desk study of information available in house and trial pits excavated on site by a mechanical excavator. The geological survey map states the soil conditions in this area are Till, Devensian - Diamicton.

An independent mining report has been made available for this site and confirms that there are no records of any mining activities that should affect this development site.

UK Radon interactive mapping shows this site to be located within a 1km grid square that is the lowest band of radon potential.

Trial pit No. 1 revealed 300mm of topsoil over grey granular stoney fill to a depth of 600mm. Below was medium-dense sandy clay with stones to a finishing depth of 1500mm. The trial pit remained dry.

Trial pit No. 2 revealed 700mm of topsoil over grey granular stoney fill to a depth of 900mm. Below was medium-dense sandy clay with stones. Various building rubble, bricks and concrete were found at a depth of 1500mm preventing further progress. This is believed to be the buried remains of a previous farm building which was demolished. The trial pit remained dry.

Trial pit No. 3 revealed 500mm of topsoil over medium-dense sandy clay with stones. The trial pit found the same conditions as trial pit 2 and concluded at 1300mm. The trial pit remained dry.

Trial pit No. 4 revealed medium-dense sandy clay with stones and some boulders to a finishing depth of 1400mm. The trial pit remained dry.

Trial pit No. 5 revealed 100mm of topsoil over medium-dense sandy clay with stones to a finishing depth of 1100mm. At 300mm an existing clay drain was found although the pipe appears to be blocked and is assumed to have been servicing the previous farm buildings which are now demolished. The trial pit remained dry.

After inspection of the material excavated from the five trial pits, we confirm natural soils were found with only some contamination in trial pits 1 and 2 where a thin layer of fill was found, this material should be removed from the footprint of any new buildings. However trial pits 2 and 3 found part of an existing building which will need to be removed where it will prevent new foundations bearing onto undisturbed natural soils.



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E.L.J. HENDERSON BSc CEng MStructE MASCE MCons

The medium-dense sandy clay with stones should provide a satisfactory bearing stratum with a minimum bearing capacity of 100kN/m².

Therefore we would confirm that normal reinforced concrete strip footings should be satisfactory for the proposed house. They should be taken to bear onto the medium-dense sandy clay with stones and be 650mm wide x 200mm deep for the foundation walls reinforced with A252 mesh and with 75mm cover from the base and a minimum of 400mm lap between sheets. Footings should be cast as soon as possible after excavation to avoid softening or loosening of the natural soils. Any softened or loose materials, or materials falling from the sides of the excavation should be removed immediately prior to concreting.

If ground conditions vary from those described in this report the engineer should be informed to allow appropriate action to be taken.

G Donaldson

Graeme Donaldson
For L N Henderson & Associates

CALCULATION SHEET

Contract: DEVELOPMENT AT MILTON OF BALGONIE, FIFE		Job No. 19101
Part of Structure: SURFACE WATER SOAKAWAY		Calc. Sheet No. 1
Drawing Ref.	Calcs. By: GD	Checked By:
		Date: 27-Aug-20



L.N. HENDERSON + ASSOCIATES
CONSULTING ENGINEERS

Length =	3	Base Area =	6	m ²
Width =	2	Internal Surface area of the	8	m ²
Depth =	1.5	Soakaway 50% =		
No. of =	2			
% Voids =	28			

VP =	49	s/mm	Roof Area =	House =	306	m ²
=	0.02	mm/s		Garage =		m ²
=	0	m/s		Extension =		m ²
				Total =	306	m ²

$$S = (Ax0.0145)-(afx900)$$

Where - A is the area to be drained in m²
 a is the internal surface area of the soakaway to 50%
 effective depth, excluding the base in m² (this has to be
 assumed for initial calculation purposes)
 f is the soil infiltration rate, in m/s, determined in
 accordance with clause 3.9.1 (note that this calculation
 produces s/mm)
 S is the required storage in m³

$$S = 4.4 \quad - \quad 0.14$$

$$= 4.3 \text{ m}^3$$

$$\text{Actual} = 6 \times 1.5 \times 0.28 \times 2 = 5.04 \text{ m}^3 = \text{OK}$$

Therefore 2No. 3x2x1.5m soakaways will be sufficient

Designed in accordance with Scottish Building
Standards Technical Handbook 2017 clause 3.6.5

CALCULATION SHEET

Contract: DEVELOPMENT AT MILTON OF BALGONIE, FIFE		Job No. 19101
Part of Structure: SURFACE WATER SOAKAWAY		Calc. Sheet No. 1
Drawing Ref.	Calcs. By: GD	Checked By:
		Date: 27-Aug-20



L.N. HENDERSON + ASSOCIATES
CONSULTING ENGINEERS

Length =	5	Base Area =	10	m ²
Width =	2	Internal Surface area of the	7	m ²
Depth =	1	Soakaway 50% =		
No. of =	1			
% Voids =	28			

VP =	49	s/mm	Roof Area =	House =	200	m ²
=	0.02	mm/s		Garage =		m ²
=	0	m/s		Extension =		m ²
				Total =	200	m ²

$$S = (Ax0.0145)-(afx900)$$

Where - A is the area to be drained in m²
 a is the internal surface area of the soakaway to 50%
 effective depth, excluding the base in m² (this has to be
 assumed for initial calculation purposes)
 f is the soil infiltration rate, in m/s, determined in
 accordance with clause 3.9.1 (note that this calculation
 produces s/mm)
 S is the required storage in m³

$$S = 2.9 \quad - \quad 0.13$$

$$= 2.8 \text{ m}^3$$

$$\text{Actual} = 10 \times 1 \times 0.28 \times 1 = 2.80 \text{ m}^3 = \text{OK}$$

Therefore a 5x2x1m soakaway will be sufficient

Designed in accordance with Scottish Building
Standards Technical Handbook 2017 clause 3.6.5

CALCULATION SHEET

Contract: DEVELOPMENT AT MILTON OF BALGONIE, FIFE		Job No. 19101
Part of Structure: SURFACE WATER SOAKAWAY		Calc. Sheet No. 1
Drawing Ref.	Calcs. By: GD	Checked By:
		Date: 27-Aug-20



L.N. HENDERSON + ASSOCIATES
CONSULTING ENGINEERS

Length =	4	Base Area =	6	m ²
Width =	1.5	Internal Surface area of the	6	m ²
Depth =	1	Soakaway 50%=		
No. of =	1			
% Voids =	28			

VP =	49	s/mm	Roof Area =	House =	111	m ²
=	0.02	mm/s		Garage =		m ²
=	0	m/s		Extension =		m ²
				Total =	111	m ²

$$S = (Ax0.0145)-(afx900)$$

Where - A is the area to be drained in m²
 a is the internal surface area of the soakaway to 50%
 effective depth, excluding the base in m² (this has to be
 assumed for initial calculation purposes)
 f is the soil infiltration rate, in m/s, determined in
 accordance with clause 3.9.1 (note that this calculation
 produces s/mm)
 S is the required storage in m³

$$S = 1.6 \quad - \quad 0.1$$

$$= 1.5 \text{ m}^3$$

$$\text{Actual} = 6 \times 1 \times 0.28 \times 1 = 1.68 \text{ m}^3 = \text{OK}$$

Therefore a 4x1.5x1m soakaway will be sufficient

Designed in accordance with Scottish Building
Standards Technical Handbook 2017 clause 3.6.5

Appendix B – Causeway Flow Calculations



Design Settings

Rainfall Methodology	FEH-13	Minimum Velocity (m/s)	1.00
Return Period (years)	2	Connection Type	Level Soffits
Additional Flow (%)	20	Minimum Backdrop Height (m)	0.200
CV	0.750	Preferred Cover Depth (m)	1.200
Time of Entry (mins)	5.00	Include Intermediate Ground	✓
Maximum Time of Concentration (mins)	30.00	Enforce best practice design rules	✓
Maximum Rainfall (mm/hr)	50.0		

Nodes

Name	Area (ha)	Cover Level (m)	Diameter (mm)	Easting (m)	Northing (m)	Depth (m)
1	0.045	100.260	1	100.000	100.000	2.260

Node 1 Soakaway Storage Structure

Base Inf Coefficient (m/hr)	0.02520	Invert Level (m)	98.000	Depth (m)	1.640
Side Inf Coefficient (m/hr)	0.05040	Time to half empty (mins)	1394	Inf Depth (m)	
Safety Factor	2.0	Pit Width (m)	2.400	Number Required	1
Porosity	0.95	Pit Length (m)	11.166		

Results for 200 year +39% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m ³)	Flood (m ³)	Status
1440 minute winter	1	1110	99.366	1.366	1.5	35.3712	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	Outflow (l/s)
1440 minute winter	1	Infiltration	0.4

Design Settings

Rainfall Methodology	FEH-13	Minimum Velocity (m/s)	1.00
Return Period (years)	2	Connection Type	Level Soffits
Additional Flow (%)	20	Minimum Backdrop Height (m)	0.200
CV	0.750	Preferred Cover Depth (m)	1.200
Time of Entry (mins)	5.00	Include Intermediate Ground	✓
Maximum Time of Concentration (mins)	30.00	Enforce best practice design rules	✓
Maximum Rainfall (mm/hr)	50.0		

Nodes

Name	Area (ha)	Cover Level (m)	Diameter (mm)	Easting (m)	Northing (m)	Depth (m)
1	0.048	100.260	1	100.000	100.000	2.260

Node 1 Soakaway Storage Structure

Base Inf Coefficient (m/hr)	0.02520	Invert Level (m)	98.000	Depth (m)	1.640
Side Inf Coefficient (m/hr)	0.05040	Time to half empty (mins)	1436	Inf Depth (m)	
Safety Factor	2.0	Pit Width (m)	2.400	Number Required	1
Porosity	0.95	Pit Length (m)	15.166		

Results for 200 year +39% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m ³)	Flood (m ³)	Status
1440 minute winter	1	1110	99.020	1.020	1.6	35.7622	0.0000	OK

Link Event	US Node	Link	Outflow (l/s)
1440 minute winter	1	Infiltration	0.4

Appendix C – SEPA SIA Tool



SIMPLE INDEX APPROACH: TOOL



HRW shall not be liable for any direct or indirect damage claim, loss, cost, expense or liability howsoever arising out of the use or impossibility to use the tools, even when HRW has been informed of the possibility of the same. The user hereby indemnifies HRW from and against any damage claim, loss, expense or liability resulting from any action taken against HRW that is related in any way to the use of the tool or any reliance made in respect of the output of such use by any person whatsoever. HRW does not guarantee that the tool's functions meet the requirements of any person, nor that the tool is free from errors.

1. The steps set out in the tool should be applied for each inflow or 'runoff area' (ie each impermeable surface area separately discharging to a SuDS component).
2. The supporting 'Design Conditions' stated by the tool must be fully considered and implemented in all cases.
3. Relevant design examples are included in the SuDS Manual Appendix C.
4. Each of the steps below are part of the process set out in the flowchart on Sheet 3.
5. Sheet 4 summarises the selections made below and indicates the acceptability of the proposed SuDS components.

DROP DOWN LIST RELEVANT INPUTS NEED TO BE SELECTED FROM THESE LISTS, FOR EACH STEP

USER ENTRY USER ENTRY CELLS ARE ONLY REQUIRED WHERE INDICATED BY THE TOOL

STEP 1: Determine the Pollution Hazard Index for the runoff area discharging to the proposed SuDS scheme

This step requires the user to select the appropriate land use type for the area from which the runoff is occurring

If the land use varies across the 'runoff area', either:

- use the land use type with the highest Pollution Hazard Index
- apply the approach for each of the land use types to determine whether the proposed SuDS design is sufficient for all. If it is not, consider collecting more hazardous runoff separately and providing additional treatment.

If the generic land use types suggested are not applicable, select 'Other' and enter a description of the land use of the runoff area and agreed user defined indices in the row below the drop down lists.

Runoff Area Land Use Description	Hazard Level	Pollution Hazard Indices			DESIGN CONDITIONS
		Total Suspended Solids	Metals	Hydrocarbons	
Residential roofing	Very low	0.2	0.2	0.05	1 2
Landuse Pollution Hazard Index	Very low	0.2	0.2	0.05	

STEP 2A: Determine the Pollution Mitigation Index for the proposed SuDS components

This step requires the user to select the proposed SuDS components that will be used to treat runoff - before it is discharged to a receiving surface waterbody or downstream infiltration component

If the runoff is discharged directly to an infiltration component, without upstream treatment, select 'None' for each of the 3 SuDS components and move to Step 2B

This step should be applied to evaluate the water quality protection provided by proposed SuDS components for discharges to receiving surface waters or downstream infiltration components (note: in England and Wales this will include components that allow any amount of infiltration, however small, even where infiltration is not specifically accounted for in the design).

If you have fewer than 3 components, select 'None' for the components that are not required

If the proposed component is bespoke and/or a proprietary treatment product and not generically described by the suggested components, then 'Proprietary treatment system' or 'User defined indices' should be selected and a description of the component and agreed user defined indices should be entered in the rows below the drop down lists

SuDS Component Description	Total Suspended Solids	Pollution Mitigation Indices		DESIGN CONDITIONS
		Metals	Hydrocarbons	
Filter drain (where the trench is not designed as an infiltration component)	0.4	0.4	0.4	1 2 3

SuDS components can only be assumed to deliver these indices if they follow design guidance with respect to hydraulics and treatment set out in the relevant technical component chapters of the SuDS Manual. See also checklists in Appendix B

Filter drains should be preceded by upstream component(s) that trap(s) silt, or designed specifically to retain sediment in a separate zone, easily accessible for maintenance, such that the sediment will not be re-suspended in subsequent events

Select SuDS Component 2
(i.e. the second SuDS component in a series) from the drop down list:

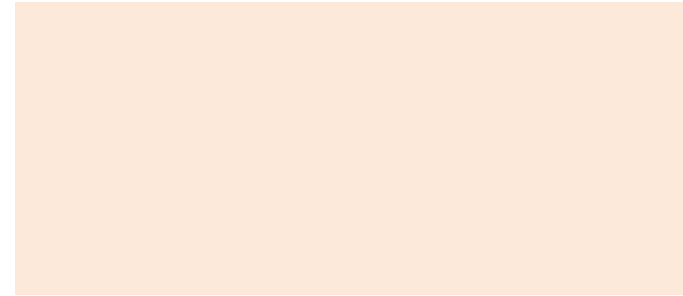
None

Select SuDS Component 3
(i.e. the third SuDS component in a series) from the drop down list:

None

If the proposed SuDS components are bespoke/proprietary and/or the generic indices above are not considered appropriate, select 'Proprietary treatment system' or 'User defined indices' and enter component descriptions and agreed user defined indices in these rows:

Aggregated Surface Water Pollution Mitigation Index	0.4	0.4	0.4
--	------------	------------	------------



Note: If the total aggregated mitigation index is > 1 (which is not a realistic outcome), then the outcome is fixed at ">0.95". In this scenario, the proposed components are likely to have a very high mitigation potential for reducing pollutant levels in the runoff and should be sufficient for any proposed land use (note: where risk assessment is required, this outcome would need more detailed verification).

Is the runoff now discharged to an infiltration component?

Yes ? [Go to Step 2B](#)
No ? [Go to Step 2C](#)

STEP 2B: Determine the Pollution Mitigation Index for the proposed Groundwater Protection

This step requires the user to select the type of groundwater protection that is either part of the SuDS component or that lies between the component and the groundwater

This step should be applied where a SuDS component is specifically designed to infiltrate runoff (note: in England and Wales this will include components that allow any amount of infiltration, however small, even where infiltration is not specifically accounted for in the design).

'Groundwater protection' describes the proposed depth of soil or other material through which runoff will flow between the runoff surface and the underlying groundwater.

Where the discharge is to surface waters and risks to groundwater need not be considered, select 'None'

If the proposed groundwater protection is bespoke and/or a proprietary product and not generically described by the suggested measures, then a description of the protection and agreed user defined indices should be entered in the row below the drop down list

Select type of groundwater protection from the drop down list:

None

If the proposed groundwater protection is bespoke/proprietary and/or the generic indices above are not considered appropriate, select 'Proprietary product' or 'User defined indices' and enter a description of the protection and agreed user defined indices in this row:

--

Pollution Mitigation Indices

Total Suspended Solids	Metals	Hydrocarbons
------------------------	--------	--------------

Groundwater Protection Pollution Mitigation Index	0	0	0
--	----------	----------	----------

DESIGN CONDITIONS

1	2	3	4
---	---	---	---

STEP 2C: Determine the Combined Pollution Mitigation Indices for the Runoff Area

This is an automatic step which combines the proposed SuDS Pollution Mitigation Indices with any Groundwater Protection Pollution Mitigation Indices

Combined Pollution Mitigation Indices

Total Suspended Solids	Metals	Hydrocarbons
------------------------	--------	--------------

Combined Pollution Mitigation Indices for the Runoff Area	0.4	0.4	0.4
--	------------	------------	------------

Note: If the total aggregated mitigation index is > 1 (which is not a realistic outcome), then the outcome is fixed at ">0.95". In this scenario, the proposed components are likely to have a very high mitigation potential for reducing pollutant levels in the runoff and should be sufficient for the proposed land use (note: where risk assessment is required, this outcome would need more detailed verification).

STEP 2D: Determine Sufficiency of Pollution Mitigation Indices for Selected SuDS Components

This is an automatic step which compares the Combined Pollution Mitigation Indices with the Land Use Hazard Indices, to determine whether the proposed components are sufficient to manage each pollutant category type

When the combined mitigation index exceeds the land use pollution hazard index, then the proposed components are considered sufficient in providing pollution risk mitigation.

DESIGN CONDITIONS

In England and Wales, where the discharge is to protected surface waters or groundwater, an additional treatment component (ie over and above that required for standard discharges), or other equivalent protection, is required that provides environmental protection in the event of an unexpected pollution event or poor system performance. Protected surface waters are those designated for drinking water abstraction. In England and Wales, protected groundwater resources are defined as Source Protection Zone 1. In Northern Ireland, a more precautionary approach may be required and this should be checked with the environmental regulator on a site by site basis.

Sufficiency of Pollution Mitigation Indices

Total Suspended Solids	Metals	Hydrocarbons
Sufficient	Sufficient	Sufficient

1

Reference to local planning documents should also be made to identify any additional protection required for sites due to habitat conservation (see Chapter 7 The SuDS design process). The implications of developments on or within close proximity to an area with an environmental designation, such as a Site of Special Scientific Interest (SSSI), should be considered via consultation with relevant conservation bodies such as Natural England

REV.	DATE	BY	DESCRIPTION	APD.
------	------	----	-------------	------

DRAINAGE NOTES

ALL DRAINAGE WORK SHALL BE CARRIED OUT TO "SEWERS FOR SCOTLAND" 4TH EDITION AND SHALL BE TO LOCAL AUTHORITY APPROVAL. ALL WORK TO BE ADOPTED SHALL BE TO THE APPROVAL OF SCOTTISH WATER. SCOTTISH WATER SHOULD BE NOTIFIED PRIOR TO ACCESSING OR ALTERATION TO ANY PUBLIC SEWERS.

ALL DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND WITH THE BUILDING STANDARDS (SCOTLAND) REGULATIONS.

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR.

IN CASE OF DISCREPANCY BETWEEN DRAWINGS OR LACK OF DIMENSIONS THE CONTRACTOR SHOULD CONSULT MCGREGOR McMAHON BEFORE WORKS PROCEED.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

THE CONTRACTOR SHALL CONFIRM THE LINE, LEVEL AND LOCATION OF ALL EXISTING DRAINAGE PRIOR TO PROCEEDING WITH WORKS.

THE CONTRACTOR IS TO TEST ALL PIPEWORK PRIOR TO BACKFILLING. ALL TESTS TO BE WITNESSED AND RECORDED.

ALL EXISTING SERVICES TO BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING.

THE CONTRACTOR TO ALLOW FOR ALL TRAFFIC MANAGEMENT IN CONNECTION WITH ROAD & SEWER WORKS.

ALL PIPEWORK IS TO BE LAID WITH SOFFITS LEVEL UNLESS NOTED OTHERWISE.

ALL COVER LEVELS SHOWN ARE APPROXIMATE ONLY.

ALL RAINWATER DOWNPIPES TO BE TRAPPED AND RODDING EYES ARE TO BE SEALED

EVERY PART OF THE SOAKAWAY SHOULD BE LOCATED AT LEAST 5m FROM A BOUNDARY IN ORDER THAT AN ADJOINING PLOT IS NOT INHIBITED FROM ITS FULL DEVELOPMENT POTENTIAL.

EVERY PART OF A PRIVATE WASTEWATER PLANT SHOULD BE LOCATED AT LEAST 5m FROM A DWELLING

A PRIVATE WASTEWATER TREATMENT PLANT SHOULD BE PROVIDED WITH AN ACCESS FOR DESLUDGING. THE DESLUDGING TANKER SHOULD BE PROVIDED WITH ACCESS TO A WORKING AREA THAT WILL PROVIDE A CLEAR ROUTE FOR THE SUCTION HOSE FROM THE TANKER TO THE TANK, AND IS NOT MORE THAN 25m FROM THE TANK WHERE IT IS NOT MORE THAN 4m HIGHER THAN THE INVERT LEVEL OF THE TANK AND IS SUFFICIENT TO SUPPORT A VEHICLE AXLE LOAD OF 14 TONNES.

EVERY DWELLING WITH A DRAINAGE SYSTEM DISCHARGING TO A PRIVATE WASTEWATER TREATMENT PLANT SHOULD BE PROVIDED WITH A LABEL TO ALERT THE OCCUPIERS TO SUCH AN ARRANGEMENT. THE LABEL SHOULD DESCRIBE THE RECOMMENDED MAINTENANCE NECESSARY FOR THE SYSTEM AND SHOULD INCLUDE THE FOLLOWING: "THE DRAINAGE SYSTEM FROM THIS PROPERTY DISCHARGES TO A WASTEWATER TREATMENT PLANT. THE OWNER IS LEGALLY RESPONSIBLE FOR ROUTINE MAINTENANCE AND TO ENSURE THAT THE SYSTEM COMPLIES WITH ANY DISCHARGE CONSENT ISSUED BY SEPA AND THAT IT DOES NOT PRESENT A HEALTH HAZARD OR A NUISANCE". THE LABEL SHOULD BE LOCATED ADJACENT TO THE GAS OR ELECTRICITY CONSUMER UNIT OR THE WATER STOPCOCK.

WHERE PIPES PASS THROUGH UNDERBUILDING PROVIDE PC LINTOLS OVER PIPE

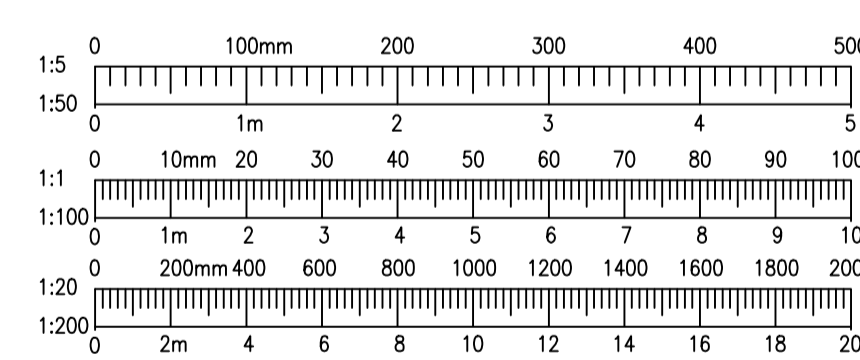
SUDS TREATMENT TRAIN-

- ROOF WATER
- ROOF WATER RUNOFF WILL BE COLLECTED BY UPVC RAINWATER GOODS AND BE TAKEN DOWN THROUGH RWPs, DRAINAGE PIPES AND INSPECTION CHAMBERS
- RUNOFF TAKEN TO THROUGH GRAVEL FILTER TRENCHES WITHIN EACH PLOT TO PROVIDE TREATMENT TO RUNOFF PRIOR TO CONNECTION TO CELLULAR SOAKAWAY STRUCTURE. A SILT TRAP IS LOCATED AT EVERY CONNECTION TO THE CELLULAR SOAKAWAY
- THIS PROVIDES SUFFICIENT TREATMENT OF THE COMBINED POLLUTION MITIGATION INDICIES IN ACCORDANCE WITH THE SEPA SIA TOOL

CONFIRMATION OF CONSTRUCTION STATUS SUDS COMPLIANCE. ON COMMENCEMENT OF CONSTRUCTION A FULL CONSTRUCTION STATUS SUDS PLAN SHOULD BE IN PLACE, MANAGED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THE SITE MANAGER(S). IT IS THE SITE MANAGER'S RESPONSIBILITY TO ENSURE THAT THIS CONSTRUCTION STATUS SUDS IS FULLY COMPLIANT WITH THE RELEVANT LEGISLATION (CURRENTLY CAR/GBR10).

HEALTH AND SAFETY


 THE DESIGN HAS HIGHLIGHTED ONLY COMMON HAZARDS, WHICH ARE CONSIDERED TO BE WITHIN THE NORMAL EXPERIENCE OF A COMPETENT CONTRACTOR.



DRAWING STATUS: **PLANNING**

MCGREGOR McMAHON
CONSULTING ENGINEERS

2 Castle Court • Carnegie Campus • Dunfermline • Fife • KY11 8PB
01383 734905 • mcgregor-mcmahon.com • admin@mcmahon.com

PROJECT: **PROPOSED DEVELOPMENT AT BELLFIELD FARM STEADINGS MILTON OF BALGONIE**

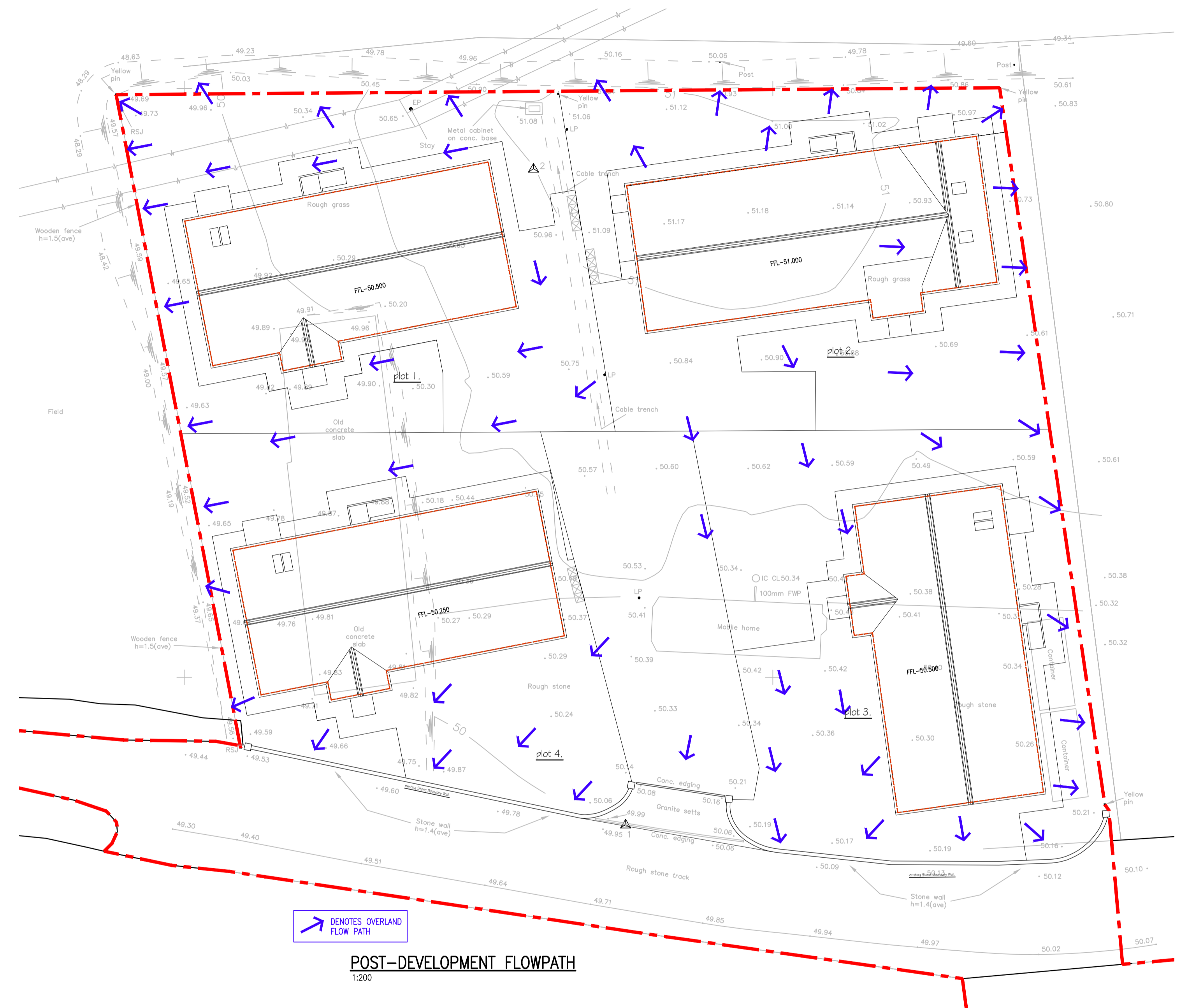
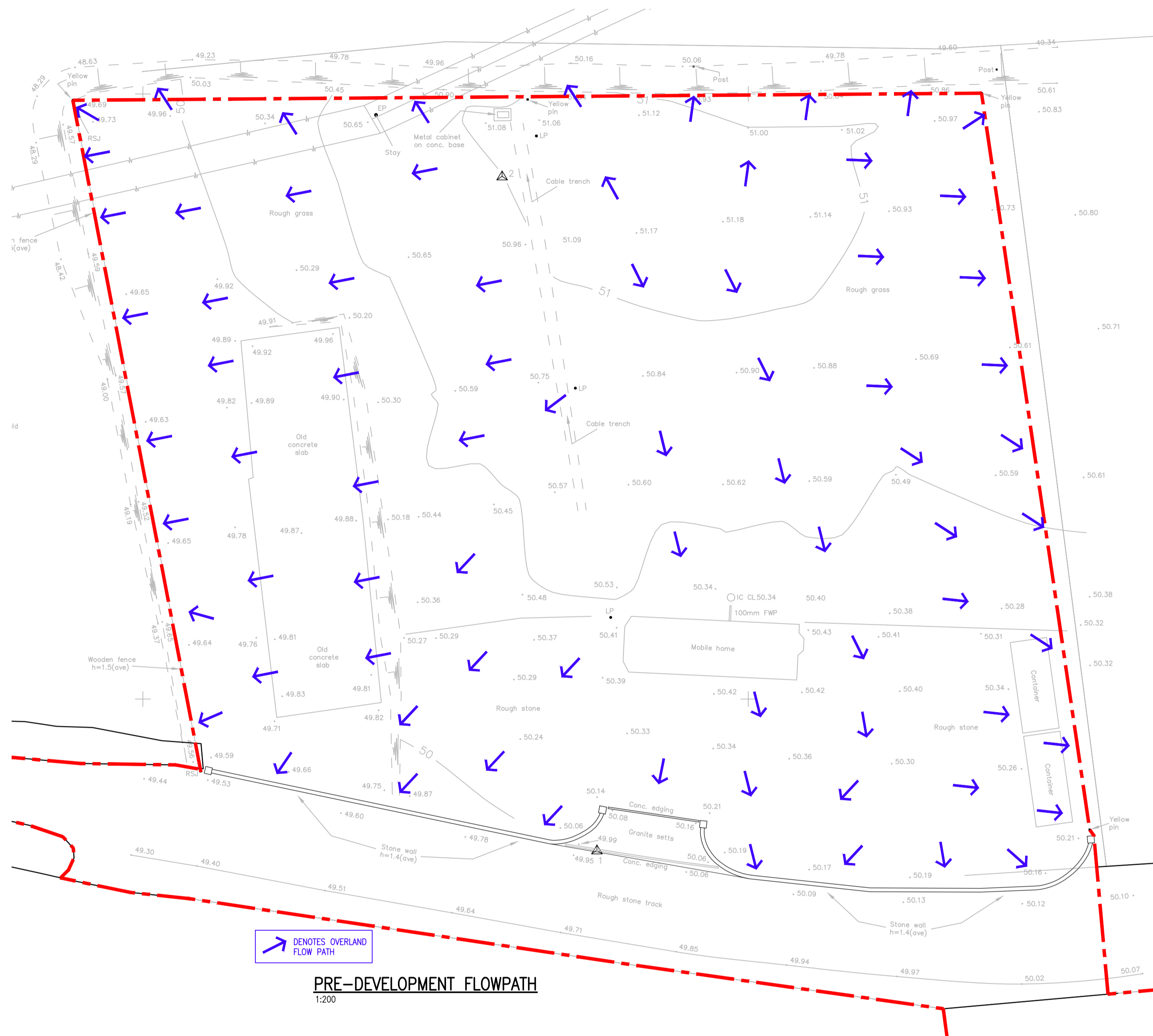
TITLE: **DRAINAGE LAYOUT**

SCALE	DATE	DRAWN	APPROVED	APD.
1:100	APR 23	STC	KDS	A1

DRAWING No. **22721-200** REV.



REV.	DATE	BY	DESCRIPTION	APD.
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DRAWING STATUS: **PLANNING**

MCGREGOR | MCMAHON
CONSULTING ENGINEERS
2 Castle Court • Carnegie Campus • Dunfermline • Fife • KY11 8PB
01383 734905 • mcgregor-mcmahon.com • admin@mcmahon.com

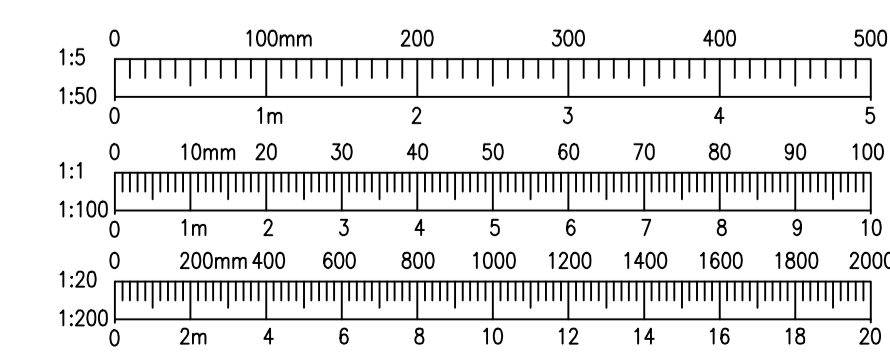
PROJECT: **PROPOSED DEVELOPMENT AT BELLFIELD FARM STEADINGS MILTON OF BALGONIE**

TITLE: **PRE AND POST DEVELOPMENT OVERLAND FLOW PATHS**

SCALE: 1:200	DATE: APR 23	DRAWN: STC	APPROVED: KDS	A1
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DRAWING No. **22721-FP** REV.

HEALTH AND SAFETY
THE DESIGN HAS HIGHLIGHTED ONLY COMMON HAZARDS, WHICH ARE CONSIDERED TO BE WITHIN THE NORMAL EXPERIENCE OF A COMPETENT CONTRACTOR.

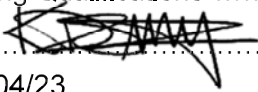


Appendix 1 - SuDS Design Compliance Certificate

I certify that all the reasonable skill, care and attention to be expected of a qualified and competent professional in this field has been exercised in designing the sustainable drainage system for the below named development in accordance with CIRIA C753: The SuDS Manual 2015, the current edition of Sewers for Scotland and Fife Council's – Design Criteria Guidance Note on Flooding and Surface Water Management Plan Requirements.

ePlanning Reference No.....
Planning Application No. (completed by Fife Council Planning Service)
Roads Construction Consent No. (completed by Fife Council Planning Service)
Name of Development Proposed Development at Bellfield Farm Steadings, Milton of Balgonie
Name of Developer Alyson Anderson

Name and Address of Designers Organisation.....
McGregor McMahon Consulting Engineers
2 Castle Court, Carnegie Campus, Dunfermline
KY11 8PB

Name of Designer Kenneth D Simpson
Position Held Director
Engineering Qualifications² BSc CEng MICE
Signed 
Date 20/04/23

Drawing No's relative to this certificate
22721-200

² Minimum Qualification - Incorporated Engineer or equivalent from an appropriate Engineering Institution.

Appendix 2 - SuDS Design – Independent Check Certificate

I certify that all the reasonable skill, care and attention to be expected of a qualified and competent professional in this field has been exercised in the below named development with a view to securing that:

1. It has been designed in accordance with CIRIA C753: The SuDS Manual 2015, Current Edition of Sewers for Scotland, Fife Council – Design Criteria Guidance Note on Flooding and Surface Water Management Plan Requirements.
2. It shall be accurately translated into construction drawings and schedules.
3. I hereby confirm that I hold professional indemnity insurance for £5 million pounds.

ePlanning Reference No.

Planning Application No. (completed by Fife Council Planning Service)

Roads Construction Consent No. (completed by Fife Council Planning Service)

Name of Development Proposed Development at Bellfield Farm Steadings, Milton of Balgonie

Name of Developer Alyson Anderson

Name and Address of Checker's Organisation

McGregor McMahon Consulting Engineers

2 Castle Court, Carnegie Campus, Dunfermline

KY11 8PB

Name of Checker Blyth Berwick

Position Held Director

Engineering Qualifications³ BEng (Hons) CEng MICE

Signed 

Date 20/04/23

³ Minimum Qualification - Incorporated Engineer or equivalent from an appropriate Engineering Institution.

Appendix 5 - Confirmation of future maintenance of SuDS Apparatus

I hereby confirm that the future maintenance of the Sustainable Drainage Apparatus as detailed below and on the drawing numbered 22721-200 will be carried out in accordance with the attached maintenance schedule, by the undernoted organisation.

Planning Application No. (completed by Fife Council Planning Service)

Roads Construction Consent No. (completed by Fife Council Planning Service)

Name of Development Proposed Development at Bellfield Farm Steadings, Milton of Balgonie

Name of Developer Alyson Anderson

Name and address of maintenance organisation (including contact telephone number and e-mail address)

The SUDs components would be maintained by the relevant owners of the properties

The mainenance reponsibility would be be a legal agreement shared between the owners

Telephone: Email:

Details of sustainable drainage apparatus to be maintained:

Silt Traps, Gravel Trenches, Cellular Soakaway

Signed 

Name Scott Christie

Position Held Associate

Name of Organisation McGregor McMahon Consulting Engineers

Date 20/04/23

Appendix 8 - Full Planning Application Checklist

Point	Description	Provided Y (Yes), N (No), N/A
3.0	Flood Risk Assessment.	N/A
4.4.1	A drainage layout.	Y
4.4.2	Confirmation of discharge rate.	Y
4.4.3	Calculations for any attenuation volume required.	Y
4.4.4	Soakaway information (i.e. ground investigation, porosity test).	Y
4.4.5	Pre-development and post-development flow path diagrams.	Y
4.4.6	Confirmation of the SuDS treatment train.	Y
4.4.7	Assessment of the maximum groundwater level at the location of any underground attenuation features is applicable.	Y
4.4.8	Written evidence of Scottish Water's approval of the surface water drainage connection into their network at the rate agreed with Scottish Water.	N/A

4.4.9	Confirmation of who will adopt and maintain the surface water network, including any SuDS as per Appendix 5.	Y
4.4.10	A maintenance schedule for all proposed SuDS, to include a detailed list of activities and timescales.	Y
4.4.11	Confirmation of Construction Status SuDS compliance.	Y
4.4.12	Completed SuDS certification as per Appendices 1 and 2. (For single dwelling, only Appendix 1 is required)	Y

Proposal Details

Proposal Name	100609171
Proposal Description	erection of 4 No bungalows on former steading site, combined with existing farmhouse forms hamlet of 5 houses. the site currently has planning for 4 houses which was passed by Local Review Committee and client now wishes to change to 4 bungalows.
Address	
Local Authority	Fife Council
Application Online Reference	100609171-004

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
justification for local review	Attached	A4
ENGINEERS REPORT	Attached	Not Applicable
LOCATION AND BLOCK PLANS REVISED	Attached	A1
PROPOSED BLOCK PLAN	Attached	A1
ENGINEERS APPENDIX 1	Attached	A4
APPENDIX 2	Attached	A4
APPENDIX 5	Attached	A4
APPENDIX 8	Attached	A4
SURFACE WATER DRAINAGE REPORT	Attached	A4
DRAINAGE PROPOSALS FOR SITE FLOW PATH	Attached	A1
CARBON CHECKLIST	Attached	A4
ELEVATIONS PLOT 3	Attached	A1
ELEVATIONS PLOT 4	Attached	A1
ELEVATIONS PLOT 2	Attached	A1
ELEVATIONS PLOT 1	Attached	A1
PLANS PLOT 1	Attached	A1
PLANS PLOT 2	Attached	A1
PLANS PLOT 3	Attached	A1

PLANS PLOT 4	Attached	A1
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-004.xml	Attached	A0

Agenda Item 6(4)

**Bellfield Farm Steading, Milton of Balgonie,
Glenrothes**

Application No. 22/04032/FULL

Consultee Comments

MEMORANDUM

TO: Brian Forsyth, Planner, Development Management

FROM: Blair Falconer, Land & Air Quality

DATE: 5th May 2023

OUR REF: PC190080.C6

YOUR REF: 22/04032/FULL

SUBJECT: Erection of 4 dwellinghouses (Class 9) and formation of access and hardstanding at Bellfield Farm Steading, Milton of Balgonie

After receiving your request for comment regarding the above planning application, I would provide the following:

Land Quality – Site Specific Risk Assessment required

Coal Mining – Consult with Coal Authority

Air Quality – No comment

Land Quality

Given the long term use of the site for agricultural purposes and the recent demolition of the former steadings/agricultural buildings a Site Specific Risk Assessment is required prior to development works proceeding. This should be undertaken in accordance with the advice contained in our guidance booklet "Advice for Developing Brownfield Sites in Fife", which is available online at www.fife.gov.uk/contaminatedland

These assessments may include the relevant testing of soils, waters, gases and vapours in order to adequately characterise the potential type(s), nature and scale of contamination associated with the site. The outcomes of such investigations will determine the remedial measures which may be required, details of which should be submitted to this office for comment.

The risk assessment should additionally consider the answers to the following questions in relation to the former steadings/immediate vicinity:

- Is asbestos known or suspected in the fabric of any buildings or within the ground?
- Has any part of the site been used for the storage of fuel or for refuelling activities?

- Have there been any known leaks or spillages of fuel on or close to the site?
- Has any part of the site been used for the storage of agricultural chemicals such as preservatives, pesticides or herbicides or have these been used on site?
- Have there been any known leaks or spillages of agricultural chemicals on or close to the site?
- Has any part of the site been used for sheep dipping, storage or disposal of sheep dip chemicals?
- Has any part of the site been used for the disposal of solid farm waste, for example slurry pits?
- Has any part of the site been used for the disposal of liquid wastes or washings other than to an approved drainage system?
- Has the site been used to store or maintain vehicles or machinery?
- Are any building fires or bonfires known to have occurred on the site?
- Has any part of the site been used for disposal of animal carcasses?
- Has any part of the site been used for silage disposal and/or storage?
- Has any part of the site been used for disposal of unused animal vaccinations?

If Development Management are minded to approve this application, it is advised that the land quality conditions **LQC1 to LQC3 (attached) be utilised to ensure the site is developed in accordance with the provisions of PAN33.**

Coal Mining

The MM-EC desk based mineral stability assessment (dated 2nd June 2019) should be passed to the Coal Authority for review/comment and coal mining related planning condition advice.

Air Quality

We have no specific comments to make in relation to air quality in this instance.

This response has been sent directly from the Land & Air Quality Team. Our colleagues in the Public Protection Team will provide their own comments in relation to issues such as noise and dust in relation to the proposed development.

Should you require any further information or clarification regarding the above comments, please do not hesitate to contact this office.

Regards, Blair Falconer - Technical Officer (Enc. Model Conditions)

Model Planning Conditions for Land Quality

LQC1

NO DEVELOPMENT SHALL COMMENCE ON SITE until the risk of actual or potential land contamination at the site has been investigated and a Preliminary Risk Assessment (Phase I Desk Study) has been submitted by the developer to and approved in writing by the local planning authority. Where further investigation is recommended in the Preliminary Risk Assessment, no development shall commence until a suitable Intrusive Investigation (Phase II Investigation Report) has been submitted by the developer to and approved in writing by the local planning authority. Where remedial action is recommended in the Phase II Intrusive Investigation Report, no development shall commence until a suitable Remedial Action Statement has been submitted by the developer to and approved in writing by the local planning authority. The Remedial Action Statement shall include a timetable for the implementation and completion of the approved remedial measures.

All land contamination reports shall be prepared in accordance with CLR11, PAN 33 and the Council's Advice for Developing Brownfield Sites in Fife documents or any subsequent revisions of those documents. Additional information can be found at www.fifedirect.org.uk/contaminatedland.

Reason: To ensure potential risk arising from previous land uses has been investigated and any requirement for remedial actions is suitably addressed.

LQC2

NO BUILDING SHALL BE OCCUPIED UNTIL remedial action at the site has been completed in accordance with the Remedial Action Statement approved pursuant to condition. In the event that remedial action is unable to proceed in accordance with the approved Remedial Action Statement — or contamination not previously considered in either the Preliminary Risk Assessment or the Intrusive Investigation Report is identified or encountered on site — all work on site (save for site investigation work) shall cease immediately and the local planning authority shall be notified in writing within 2 working days. Unless otherwise agreed in writing with the local planning authority, development works shall not recommence until proposed revisions to the Remedial Action Statement have been submitted by the developer to and approved in writing by the local planning authority. Remedial action at the site shall thereafter be completed in accordance with the approved revised Remedial Action Statement. Following completion of any measures identified in the approved Remedial Action Statement — or any approved revised Remedial Action Statement — a Verification Report shall be submitted by the developer to the local planning authority.

Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remedial measures for the whole site have been completed in accordance with the approved Remedial Action Statement — or the approved revised Remedial Action Statement — and a Verification Report in respect of those remedial measures has been submitted to and approved in writing by the local planning authority.

Reason: To provide satisfactory verification that remedial action has been completed to the planning authority's satisfaction.

LQC3

IN THE EVENT THAT CONTAMINATION NOT IDENTIFIED BY THE DEVELOPER prior to the grant of this planning permission is encountered during the development, all development works on site (save for site investigation works) shall cease immediately and the local planning authority shall be notified in writing within 2 working days.

Unless otherwise agreed in writing with the local planning authority, development work on site shall not recommence until either (a) a Remedial Action Statement has been submitted by the developer to and approved in writing by the local planning authority or (b) the local planning authority has confirmed in writing that remedial measures are not required. The Remedial Action Statement shall include a timetable for the implementation and completion of the approved remedial measures. Thereafter remedial action at the site shall be completed in accordance with the approved Remedial Action Statement. Following completion of any measures identified in the approved Remedial Action Statement, a Verification Report shall be submitted to the local planning authority. Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remedial measures for the whole site have been completed in accordance with the approved Remedial Action Statement and a Verification Report in respect of those remedial measures has been submitted by the developer to and approved in writing by the local planning authority.

Reason: To ensure all contamination within the site is dealt with.

FIFE COUNCIL

ASSETS, TRANSPORTATION AND ENVIRONMENT

TO: Case Officer, Development Management
FROM: Moir Gibson, Structural Services, Flooding, Shoreline & Harbours
DATE: 17 May 2023
OUR REF: MG/22/04032/FULL1
YOUR REF: 22/04032/FULL
CONTACT: Moir Gibson Ext 450522
SUBJECT: **Erection of 4 dwellinghouses (Class 9) and formation of access and hardstanding - Bellfield Farm Steading, Milton Of Balgonie.**

I refer to your memo dated 28 April 2023 requesting observations on the application forms and associated plans available to view on-line at <http://planning.fife.gov.uk/online> for the above proposed development and comment only on matters relating to flooding and surface water drainage.

No Objection to Flooding Proposals.

Holding Objection: Awaiting further information on Surface Water Management Proposals.

Confirmation that the soakaways will remain above the maximum groundwater level. Trial pits were carried out in August 2020 (out with the prescribed winter to spring period for highest groundwater levels) to 1100mm-1500mm depths without water strike, while the proposed soakaways are 1640mm depth plus unreported ground cover. Further ground investigations are to be carried out to ascertain the groundwater level and that it will remain below the invert level of the soakaways. A drawing detail of the soakaway depth in relation to surface level is required to be provided. A trial pit location drawing is also required.

Planning Portfolio Internal Assessment Sheet

EPPS Team	Transportation Development Management
Application Ref Numbers:	22/04032/FULL
Application Description:	Erection of 4 dwellinghouses (Class 9) and formation of access and hardstanding - Bellfield Farm Steading, Milton of Balgonie
Date:	22nd May 2023
Reason for assessment request/consultation	<input type="checkbox"/> Statutory <input type="checkbox"/> Non-statutory
Consultation Summary	

Important Note

This is an internal planning assessment response provided from within Planning Services. It forms part of the overall assessment to be carried out by staff on behalf of Fife Council as Planning Authority. The internal assessment is a material consideration in the determination of the application but it requires to be read in conjunction with all the other relevant policies and strategies set out in the development plan, together with any other relevant and related material considerations. It should not be read in isolation or quoted out of this context. The complete assessment on the proposal will be made by the Planning Case officer in due course. The assessment will not be made publicly available until the case officer has completed the overall planning assessment.

Assessment Summary

1.0 OVERALL ASSESSMENT

- 1.1 The application is for the erection of 4 no. dwellinghouses on the site of a former steading. There have been a number of applications for this location with a variety of proposed layouts, increasing in size from 1 to 3 now to 4 dwellings. None have been approved by Planning Services.
- 1.2 The most recent application, 19/02655/FULL, was approved by the Local Review Board.
- 1.3 Transportation Development Management responded to previous application, 19/02655/FULL, objecting to the application on the following road safety grounds: the proposal is to erect dwellinghouses in an unsustainable location that is remote from any forms of public transport and; facilities in terms of short journeys to local amenities and the proposal will cause the intensification of

vehicular trips over a substandard rural access which Transportation Development Management do not support.

- 1.4 There has been no significant change to the proposal to address the comments made previously by Transportation Development Management. It was also noted that there are intentions to sell an adjacent plot for future development.

2.0 CONCLUSIONS

- 2.1 Based on the above overall assessment, Transportation Development Management have **objections** in the interest of road and pedestrian safety as noted in the following paragraphs;
- 2.2 The proposal is to erect a dwellinghouse where more sustainable modes of transport are not readily and safely available to allow people to access local facilities, amenities, shops, schools etc. by trips on public transport or by short walking trips and/or cycling trips. Consequently, the development does not provide for non-car modes of transport and would be car dominant which is against the principles of NPF4.
- 2.3 Transportation Development Management have a policy against the formation of new vehicular accesses or the increase in use of existing vehicular accesses and junctions on unrestricted distributor roads that are outwith established built up areas. From a transportation point of view, a built-up area is defined as the area within a 30 or 40mph speed limit. The reason for this policy is that such accesses introduce, or increase, traffic turning manoeuvres that conflict with through traffic movements and so increase the probability of crashes occurring, to the detriment of road safety.
- 2.4 Should the application be approved, Transportation Development Management would like the following conditions applied to the application;
 - a. Prior to the occupation of any of the proposed dwellinghouses, off street parking shall be provided within the curtilage of each dwellinghouse on the basis of 3 off street parking spaces being provided per 4 and above dwellinghouse and 2 No. off street parking spaces being provided per 3 bedroom dwellinghouse. **Reason: In the interest of road safety; to ensure the provision of adequate off street parking.**
 - b. Prior to the first occupation of any of the proposed dwellinghouses, there shall be provided within the curtilage of the site suitable turning areas for vehicles suitable for use by the largest size of vehicle expected to visit or be used by occupants of the premises to allow a vehicle to enter and exit the driveway in a forward gear. The turning area shall be formed outwith the parking areas and shall be retained throughout the lifetime of the development. **Reason: In the interest of road safety; to ensure that all vehicles taking access to and egress from the site can do so in a forward gear.**
 - c. Prior to the occupation of the first dwellinghouse, visibility splays of 6 metres x 210 metres in a westerly direction towards Markinch and 6 metres x 90 metres in a southerly direction towards the A911 public classified road shall be provided and maintained clear of all obstructions exceeding 600mm in height above the adjoining road channel level, at the junction of the vehicular access and the public road, in accordance with the current Fife Council Transportation Development Guidelines.

Reason: In the interests of road safety; to ensure the provision of an adequate design layout, construction and visibility at road junctions.

d. Prior to the occupation of the first dwellinghouse, "Private Access" name plates shall be erected at the junction of the shared private access and the public road. **Reason: In the interests of road safety; to ensure the entrances to shared private accesses are clearly defined.**

Important note

The above internal planning assessment response has been prepared at officer level within the Planning Services' team responsible for the specific topic area. It is an assessment of the specific issue being consulted upon but it is important to remember that the response cannot be considered in isolation and outwith the overall assessment of the proposal under consideration. Fife Council as Planning Authority, in considering all the material considerations in an individual application can legitimately give a different weighting to the individual strands of the assessment, including consultation responses and the final assessment is based on a comprehensive and balanced consideration of all the aspects under consideration.

Signed by Stuart Goodfellow, Transportation Development Management Coordinator

Date: 22nd May 2023

E-mail: stuart.goodfellow@fife.gov.uk Number: 03451 555555 extension 450442

Wednesday, 03 May 2023



Local Planner
Fife House
North Street
Glenrothes
KY7 5LT

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Steps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk



Dear Customer,

Bellfield Farm Steading, Milton Of Balgonie, Fife, KY7 6QB
Planning Ref: 22/04032/FULL
Our Ref: DSCAS-0085912-VFH
Proposal: Erection of 4 dwellinghouses (Class 9) and formation of access and hardstanding

Please quote our reference in all future correspondence

Audit of Proposal

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced. Please read the following carefully as there may be further action required. Scottish Water would advise the following:

Water Capacity Assessment

Scottish Water has carried out a Capacity review and we can confirm the following:

- ▶ There is currently sufficient capacity in the Glenfarg Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.
- ▶ Please note the nearest water main is on the opposite side of the A911.

Waste Water Capacity Assessment

- ▶ There is currently sufficient capacity for a foul only connection in the Levenmouth PFI Waste Water Treatment works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.
- ▶ Please note the nearest water main is on the opposite side of the A911

Please Note

- ▶ The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.
-

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- ▶ Scottish Water asset plans can be obtained from our appointed asset plan providers:
 - ▶ Site Investigation Services (UK) Ltd
 - ▶ Tel: 0333 123 1223
 - ▶ Email: sw@sisplan.co.uk
 - ▶ www.sisplan.co.uk
- ▶ Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Customer Connections department at the above address.
- ▶ If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- ▶ Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.

- ▶ The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.
 - ▶ Please find information on how to submit application to Scottish Water at [our Customer Portal](#).
-

Next Steps:

▶ All Proposed Developments

All proposed developments require to submit a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water via [our Customer Portal](#) prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

▶ Non Domestic/Commercial Property:

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

▶ Trade Effluent Discharge from Non-Domestic Property:

- ▶ Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and laundrettes. Activities not covered include hotels, caravan sites or restaurants.
- ▶ If you are in any doubt as to whether the discharge from your premises is likely to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found [here](#).
- ▶ Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.
- ▶ For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas, so the

development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.

- ▶ The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 5kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below or at planningconsultations@scottishwater.co.uk.

Yours sincerely,

Ruth Kerr.

Development Services Analyst

PlanningConsultations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."



The Coal
Authority



INVESTOR IN PEOPLE



RTPI
Learning Partner

200 Lichfield Lane
Berry Hill
Mansfield
Nottinghamshire
NG18 4RG

Tel: 01623 637 119 (Planning Enquiries)

Email: planningconsultation@coal.gov.uk

Web: www.gov.uk/coalauthority

For the Attention of: Brian Forsyth – Case Officer
Fife Council

[By Email: development.central@fife.gov.uk]

11 May 2023

Dear Brian

PLANNING APPLICATION: 22/04032/FULL

Erection of 4 dwellinghouses (Class 9) and formation of access and hardstanding; Bellfield Farm Steading, Milton of Balgonie, Fife

Thank you for your consultation letter of 28 April 2023 seeking the views of the Coal Authority on the above planning application.

The Coal Authority is a non-departmental public body sponsored by the Department for Energy Security and Net Zero. As a statutory consultee, the Coal Authority has a duty to respond to planning applications and development plans in order to protect the public and the environment in mining areas.

The Coal Authority Response: Material Consideration

The application site falls within the defined Development High Risk Area; therefore within the application site and surrounding area there are coal mining features and hazards which need to be considered in relation to the determination of this planning application. In this instance, the site is potentially affected by probable shallow coal mine workings and probable shallow coal mine workings associated with a thick coal seam outcrop, which may have been worked from the surface. Voids and broken ground associated with such workings can pose a risk of ground instability and may give rise to the emission of mine gases.

The Coal Authority notes the Desk-Based Mineral Stability Assessment dated 2 June 2019 and prepared by Geol Consultants Ltd, which accompanies the planning application. The report has been informed by appropriate geological and mining information and correctly identifies the relevant coal seams, which if worked could potentially impact on ground stability. However, the report is able to discount any stability risks, specifically on the basis of none of the seams being of any economical significance.

On the basis that the information prepared by the competent body confirms the mineral support conditions beneath the site to be satisfactory, the Coal Authority **has no objection**.

Please do not hesitate to contact me if you would like to discuss this matter further.

Yours sincerely

Chris MacArthur

Chris MacArthur B.Sc. (Hons), DipTP, MRTPI
Planning Liaison Manager

Disclaimer

The above consultation response is provided by The Coal Authority as a Statutory Consultee and is based upon the latest available data and records held by The Coal Authority on the date of the response. The comments made are also based upon only the information provided to The Coal Authority by the Local Planning Authority and/or has been published on the Council's website for consultation purposes in relation to this specific planning application. The views and conclusions contained in this response may be subject to review and amendment by The Coal Authority if additional or new data/information (such as a revised Coal Mining Risk Assessment) is provided by the Local Planning Authority or the Applicant for consultation purposes.

In formulating this response The Coal Authority has taken full account of the professional conclusions reached by the competent person who has prepared the Coal Mining Risk Assessment or other similar report. In the event that any future claim for liability arises in relation to this development The Coal Authority will take full account of the views, conclusions and mitigation previously expressed by the professional advisers for this development in relation to ground conditions and the acceptability of development.

Agenda Item 7(1)

**Goathill Quarry, Easter Bucklyvie, Crossgates,
Cowdenbeath**

Application No. 22/03593/FULL

Planning Decision Notice

Gray Planning & Development Ltd
Neil Gray
AYE House
Admiralty Park
Rosyth
Dunfermline
UK
KY11 2YW

Planning Services

Jack Wilson

development.central@fife.gov.uk

Your Ref:

Our Ref: 22/03593/FULL

Date 13th April 2023

Dear Sir/Madam

Application No: 22/03593/FULL
Proposal: Erection of dwellinghouse with associated access and hardstanding
Address: Goathill Quarry Easter Bucklyvie Crossgates Cowdenbeath Fife

Please find enclosed a copy of Fife Council's decision notice indicating refusal of your application. Reasons for this decision are given, and the accompanying notes explain how to begin the appeal or local review procedure should you wish to follow that course.

Should you require clarification of any matters in connection with this decision please get in touch with me.

Yours faithfully,

Jack Wilson, Graduate Planner

Enc



DECISION NOTICE FULL PLANNING PERMISSION

Fife Council, in exercise of its powers under the Town and Country Planning (Scotland) Act 1997, as amended by the Planning etc. (Scotland) Act 2006 **REFUSES PLANNING PERMISSION** for the particulars specified below

Application No: 22/03593/FULL
Proposal: Erection of dwellinghouse with associated access and hardstanding
Address: Goathill Quarry Easter Bucklyvie Crossgates Cowdenbeath Fife

The plans and any other submissions which form part of this Decision notice are as shown as 'Refused' for application reference 22/03593/FULL on Fife Council's Planning Applications Online

REFUSE FOR THE FOLLOWING REASON(S):

1. In the interest of safeguarding the countryside from unjustified sporadic residential development. The proposal does not meet the policy intent or criteria of NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside). The proposed dwelling would not be supporting a permanent and sustainable business and insufficient evidence has been submitted to outline that the dwelling would support an agricultural business. Therefore, the site of the proposed rural dwelling would not be in an acceptable location.
2. In the interests of visual amenity and safeguarding the rural character of the surrounding area. The site is located in an isolated location, FIFEplan policy 8 of is clear in stating that planning permission will not be granted to housing in isolated positions, NPF4 policy 17 (Rural Homes) concurs by stating that proposals must be suitably sited. The proposal is therefore contrary to these policy considerations.
3. In the interest of safeguarding the qualities and views of the Local Landscape Area. The application site is in the Cullaloe Hills and Coast Local Landscape Area which are characterised by mostly rounded interlocking hills and lower rolling farmland. The proposal is isolated in its location and so would disrupt the distinctiveness of the area and would therefore cause a significant detrimental impact to the Local Landscape Area and so is not compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).

Dated: 13th April 2023

Declan Semple

For Head of Planning Services

PLANS

The plan(s) and other submissions which form part of this decision are: -

Reference	Plan Description
01	Location Plan
02	Block Plan
03	Proposed Site Plan
04	Floor Plan Proposed
05	Proposed Elevations
06	Planning Statement
07	Drainage statement/strategy
08	Drainage Details
09	Drainage Plan
10	SUDs and Flood Risk Assessment Certs
11	Drainage Plan
12	Flood Calculations
13	Topographic Site Plan
14	Sectional Details
15	Sectional Details
16	Landscape Layout
17	Low Carbon Sustainability Checklist

Dated:13th April 2023

Declan Semple

For Head of Planning Services

Decision Notice (Page 2 of 2) Fife Council

IMPORTANT NOTES ABOUT THIS DECISION

LOCAL REVIEW

If you are not satisfied with this decision by the Council you may request a review of the decision by the Council's Local Review Body. The local review should be made in accordance with section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 by notice sent within three months of the date specified on this notice. Please note that this date cannot be extended. The appropriate forms can be found following the links at www.fife.gov.uk/planning. Completed forms should be sent to:

**Fife Council, Committee Services, Corporate Services Directorate
Fife House
North Street
Glenrothes, Fife
KY7 5LT**

or emailed to local.review@fife.gov.uk

LAND NOT CAPABLE OF BENEFICIAL USE

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Minister, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he/she may serve on the Planning Authority a purchase notice requiring the purchase of his/her interest in the land in accordance with Part V Town and Country Planning (Scotland) Act, 1997.

Agenda Item 7(2)

**Goathill Quarry, Easter Bucklyvie, Crossgates,
Cowdenbeath**

Application No. 22/03593/FULL

Report of Handling

REPORT OF HANDLING

APPLICATION DETAILS

ADDRESS	Goathill Quarry, Easter Bucklyvie, Crossgates		
PROPOSAL	Erection of dwellinghouse with associated access and hardstanding		
DATE VALID	29/12/2022	PUBLICITY EXPIRY DATE	20/01/2023
CASE OFFICER	Jack Wilson	SITE VISIT	None
WARD	Inverkeithing And Dalgety Bay	REPORT DATE	07/04/2023

SUMMARY RECOMMENDATION

The application is recommended for:

Refusal

ASSESSMENT

Under Section 25 of the Town and Country Planning (Scotland) Act 1997, the determination of the application is to be made in accordance with the Development Plan unless material considerations indicate otherwise.

The Scottish Parliament voted to approve National Planning Framework 4 on the 11th January 2023, with it being formally adopted on the 13th February, 2023. NPF4 is now part of the statutory Development Plan and provides the national planning policy context and agenda for the assessment of all planning applications. NPF4 has six overarching spatial principles to support the planning and delivery of sustainable places, liveable places, and productive places. The Chief Planner has issued a formal letter providing further guidance on the interim arrangements relating to the application and interpretation of NPF4 prior to the issuing of further guidance by Scottish Ministers.

The adopted FIFEplan (2017) and associated Supplementary Guidance provides the most recent detailed planning policy for Fife and continues to be part of the Development Plan until it is replaced. The SESplan and TAY plan Strategic Development Plans and any supplementary guidance issued in connection with them no longer form part of the Development Plan.

In the context of the material considerations relevant to this application there are no areas of conflict between the overarching policy provisions of the Adopted NPF4 and the Adopted FIFEplan LDP 2017.

1.0 BACKGROUND

1.1 This application relates to a 0.5-hectare site located adjacent to the established Goathill Quarry. The site is situated within the countryside, approximately 3 kilometres south of Cowdenbeath and 3 kilometres east of Crossgates. To the east is Goathill Quarry and in all other directions is agricultural land. The B925 is to the north. The site is within the Cullaloe Hills and Coast Local Landscape Area, as defined in the adopted FIFEplan (2017) Local Development Plan. The site is mostly flat, situated on a gentle incline that slopes from the east to the west where the nearest residential property is located, 480 metres away.

1.2 Full planning permission is being sought for the erection of dwellinghouse with associated access and hardstanding. The dwelling would be two storeys in height with several gable roofs, reaching a maximum height of 9.1 metres and finished in slate. The dwelling is contemporary in design, with a stone basecourse, white roughcast exterior and natural stone detailing on the principal elevation and natural stone lintels. The windows and doors on the principal and rear elevations are a mix of black and white, a white garage door is proposed on the principal elevation.

1.3 Planning History

The site has been subject to several planning applications, those of relevance have been outlined below:

June 2010 - Environmental Impact Assessment for extraction of 3 million tonnes of quartz-dolerite stone, bunding, and associated office, weighbridge, crushing of screening plant and restoration was approved at planning committee subject to 36 conditions (planning reference: 07/04033/WEIA);

April 2014 - Full planning permission the erection of temporary residential unit (agricultural occupancy) and formation of access road, car parking and ancillary works was approved subject to 4 conditions (planning reference: 13/03079/FULL);

December 2016 - Full planning permission for the erection of dwellinghouse with associated landscaping and parking was refused. Subsequently, the application was presented to the Local Review Body where the decision was upheld (planning reference: 16/00319/FULL);

April 2023 - Environmental Impact Assessment for quarry extension, installation and operation of asphalt coating plant, installation and operation of a bottom ash processing plant and (in retrospect) formation of water settlement ponds and the erection of a concrete batching plant, concrete block storage facility and concrete testing laboratory was minded for approval at planning committee subject to 34 conditions and the signing of a Section 75 Legal Agreement which is pending decision (planning reference: 19/03702/EIA).

2.0 PLANNING ASSESSMENT

The issues to be assessed against the development plan and other material considerations are as follows:

- Principle of Development
- Design and Visual Impact
- Natural Heritage
- Transportation
- Flooding and Drainage
- Land Contamination and Stability
- Sustainability

2.1 Principle of Development

2.1.1 NPF4 Policy 17 (Rural Homes) states that rural homes may be acceptable where it is demonstrated to be necessary to support the sustainable management of a viable rural business and there is an essential need for a worker to live permanently at or near their place of work or is for a single home for the retirement succession of a viable farm holding. The purpose of this policy is to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable rural homes in the right locations. NPF4 Policy 29 (Rural Development) states that development proposals in rural areas should also consider how the development will contribute towards local living and take into account the transport needs of the development as appropriate for the rural location.

2.1.2 FIFEplan Policy 1 (Development Principles) applies in this regard. Part A of Policy 1 outlines that the principle of development will be supported if it is either a) within a defined settlement boundary and compliant with the policies for the location; or b) in a location where the proposed use is supported through the development plan. Part B of Policy 1 states that in the case of proposals in the countryside or green belt, be a use appropriate for these locations. FIFEplan Policy 8 (Houses in the Countryside) applies and states that Development of houses in the countryside will only be supported where it is essential to support an existing rural business.

2.1.3 The supporting text of Policy 8 states that the fact that a business is established in a rural area is not enough to justify building a house in the countryside. Proposals for housing must justify the need to have residential accommodation and a continuous presence at the site. They will also need to demonstrate that there is no potential for using existing accommodation in the area or the renovation of an existing property. For housing associated with an existing business the house should be sited so that it fulfils the purpose its intended for and be located close to existing buildings. If planning permission is applied for a house based on its relationship to agriculture, forestry, or another type of rural business, supporting information will need to be submitted to allow the proposal to be assessed. For agriculture and forestry, this information will need to include:

where the farm or business boundaries are;

the number of existing buildings;

whether buildings are used or occupied or not;

the number of workers, where they live and if they are full or part time;

the type of work the house is needed for and why; and

any other information the applicant feels is necessary to justify the proposal

2.1.4 This application site is not situated within a defined settlement boundary as designated in the adopted Local Development Plan - FIFEplan (2017) and so is classed as being in the countryside. There is therefore no presumption in favour of development and the proposal must be demonstrated to be compliant with the relevant national and local policy considerations. This proposal has been proposed to be necessary for the use of the manager of Goathill Quarry, an established rural business. Goathill Quarry initially received planning permission in 2010 to begin quarrying and an application (reference: 19/03702/EIA) was approved to allow an extension to the quarry and extending its operation lifetime. Condition 1 of 19/03702/EIA states an exact end date of operations of 20th December 2060, when all buildings and ancillary equipment are required to be dismantled and removed from the site, and the ground fully reinstated to the satisfaction of Fife Council as Planning Authority. The applicant has demonstrated that the business could now no longer be viewed as temporary however, Condition 1 of 19/03702/EIA would contradict this. As such, the business could not be viewed as permanent or sustainable and the proposal would therefore result in an isolated house in the countryside. It is acknowledged that while there may be uncertainty around the viability and sustainability of any rural business, this case presents the issue of a precise end date to operations at which point a permanent dwelling would remain on site.

2.1.5 In cases of rural housing supporting businesses, both NPF4 and FIFEplan require it to be demonstrated that there is an essential need for a worker to live on site. This proposal would be for the use of the manager of the quarry to support Collier Quarrying LTD and Recycling businesses. Specifically, the proposal would be to ensure there is a permanent presence on the site for security reasons, to deal with unannounced visitors and for the maintenance of the associated agricultural business and maintenance of the restored land which has been described as a Country Park. It is acknowledged that the nature of the business means that expensive equipment is required to be always kept on site and that a permanent presence on site would create a sense of natural surveillance that would deter potential theft attempts. It is unclear if theft attempts, and unannounced visitors are an ongoing risk to the business that would justify the need for this permanent presence. The quarry has been in operation for over 10 years and in 2013, temporary accommodation was approved for an initial 2-year period. An application for a permanent dwelling was submitted in 2016, was refused that year and the decision was upheld at the Local Review Body in 2017. This outlines that the business has been able to operate without a permanent dwelling on site and insufficient evidence has been submitted to prove to the planning authority that the permanent dwelling is necessary for the site.

2.1.6 For a dwelling to be justified as part of an agricultural business it must be demonstrated that it is necessary for the operational needs of the business. Some of the agricultural business boundary has been outlined and some of the outbuildings located within the applicant's ownership are dedicated to its operation, although it is unclear if these are dedicated to the sole use of the agricultural business. No information has been provided that outlines the number of workers, where they live and if they are full or part time. The type of work the house is needed for has been described as the rearing of sheep and possibly alpacas but it is unclear how this would justify a permanent on-site presence and dwelling. Regarding the managing of the Country Park, it is again unclear what the management would involve and how this would

require an onsite permanent presence. When reviewing the approved plans of the restoration of the quarry and implementation of the Country Park.

2.1.7 The application has been supported by justification for a permanent dwelling on site however this relies heavily on the planning authority accepting that the quarry business is to be considered a sustainable and permanent business. It is acknowledged that this is a viable business as has been shown by the extensive planning history, however, the clear end date to quarrying operations directly conflicts with the justification of the business being permanent. The application has been supported by limited information on how the dwelling would support the agricultural business and management of the restored land and subsequent Country Park. A clear need for the dwelling for the use of a worker has therefore not been met and the proposal is therefore not compliant with the relevant national and local policy considerations.

2.2 Design and Visual Impact

2.2.1 NPF4 Policy 14 (Design, quality and place) states that development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale. NPF4 Policy 17 (Rural Homes) states that development proposals for new homes in rural areas will be supported where the development is suitably scaled, sited and designed to be in keeping with the character of the area and the development. NPF4 Policy 29 (Rural Development) states that development proposals in rural areas should be suitably scaled, sited and designed to be in keeping with the character of the area.

2.2.2 FIFEplan Policy 8 (Houses in the Countryside) applies and states that Development of houses in the countryside will only be supported where it is essential to support an existing rural business. In all cases, development must be:

of a scale and nature compatible with surrounding uses;

well-located in respect of available infrastructure and contribute to the need for any improved infrastructure; and

located and designed to protect the overall landscape and environmental quality of the area.

The supporting text of Policy 8 outlines that planning permission will not be granted if the house is:

in an isolated position;

on a prominent site; or

sited at a distance from existing building groups.

FIFEplan Policy 10 (Amenity) applies and outlines that development will only be supported if it does not have a significant detrimental visual impact on the amenity of existing or proposed land uses.

2.2.3 The proposal is a two storey S-shaped dwelling that is contemporary in style, finished in white render with natural stone detailing. Both NPF4 and FIFEplan require rural housing to be in keeping with the local character of the surrounding area. The surrounding area has a few residential properties with the nearest house located 400 metres to the east at Easter Bucklyvie

farm and includes a traditional two storey farmhouse and a group of two, one storey, contemporary dwellings required for the maintenance of the farm. Planning permission was granted for a third dwelling of this group for the occupancy of a farm worker. The next nearest housing is located 1.5km away at the disused Cullaloe Quarry. The group includes 3 one storey dwellings which are traditional in appearance. All nearby dwellings are finished in either stone or render. In terms of scale, form, design and the choice of materials, the proposal would be in keeping with the character of the local area and is acceptable when considered against the varying character of the nearby housing.

2.2.4 While the location of the proposal would be on a prominent site and with proximity to existing buildings associated with the business, the site would be isolated. As outlined in section 2.1.4, once the quarrying operations have ceased and the restoration works have been carried out, the site would be viewed as isolated given its distance from any nearby dwellings. Policy 8 of FIFEplan is clear in outlining that planning permission would not be granted to housing in isolated positions, NPF4 concurs by stating that proposals must be suitably sited. The site is in the Cullaloe Hills and Coast Local Landscape Area, which is characterised by rounded interlocking hills and lower rolling farmland. The erection of an isolated dwelling in this designated area would therefore disrupt this designation and have a significant detrimental visual impact. Despite the scale, form, design and choice of materials being acceptable, this does not outweigh the visual impact that would be created due to the isolated site of the proposal. The proposal is therefore not compliant with the relevant national and local policy considerations.

2.3 Natural Heritage

2.3.1 NPF4 Policy 3 (Biodiversity) states that proposals for local development will include appropriate measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. Measures should be proportionate to the nature and scale of development. NPF4 Policy 4 (Natural places) states that development proposals that affect a site designated as a local nature conservation site or landscape area in the LDP will only be supported where development will not have significant adverse effects on the integrity of the area or the qualities for which it has been identified.

2.3.2 Part B of FIFEplan Policy 1 (Development Principles) states that proposals must safeguard the character and quality of the landscape. FIFEplan Policy 13 (Natural Environment and Access) applies and states that development proposals will only be supported where they protect or enhance natural heritage including landscape character and views.

2.3.3 The site is located within the Cullaloe Hills and Coast Local Landscape Area, situated towards the northern boundary. Due to the topography of the area, the site is mostly hidden from view and primarily visible from within the site. The Cullaloe Hills and Coast Local Landscape Area, are characterised by mostly rounded interlocking hills and lower rolling farmland. The area is distinctly rural with pockets of housing that is mostly hidden from public view. The site is prominent in this area although mostly hidden from view, but the disruption of the Local Landscape Area would have a significant detrimental impact on the qualities of the Local Landscape area. NPF4 requires all local developments to include appropriate biodiversity enhancements. The Making Fife's Places supplementary guidance defines this as increasing biodiversity, restoring degraded habitats or establishing new habitats and features which will support wildlife, create larger stable habitat areas and habitat networks for species. Given the rural location of the site, there is ample opportunity for biodiversity enhancement. The application is supported by a landscape plan that outlines that much of the plot would be

grassed with ample tree and hedge planting. Overall, the proposals isolated nature would cause inevitable disruption to the Local Landscape Areas qualities and views and would therefore not be acceptable when considered against the relevant national and local policy considerations.

2.4 Transportation

2.4.1 NPF4 Policy 13 (Sustainable Transport) states that development proposals will be supported where it can be demonstrated that the transport requirements generated have been considered in line with the sustainable travel and where appropriate they will be accessible by public transport, ideally supporting the use of existing services.

2.4.2 FIFEplan Policy 3 (Infrastructure and Services) applies and states that development must provide the required level of infrastructure, in this case local transport and safe access routes.

2.4.3 The proposal would utilise an existing driveway that serves the agricultural shed adjacent to the application site and has been shown to accommodate ample space for parking. The application has been supported by outlining that the manager of the site would be able to reduce the number of car journeys to and from the site. This justification is anecdotal and provides no justification for the need of a permanent dwelling. Additionally, rural living may also result in an increase in the length of journeys made to essential services and amenities. Overall, there is an insufficient level of justification that would outweigh the outlined concerns of the siting of the dwelling in an isolated countryside location for an associated temporary business. The Council's Transportation Development Management team were consulted in this regard and have no objection to the proposal. Accordingly, the proposal is compliant with the relevant national and local policy considerations.

2.5 Flooding and Drainage

2.5.1 NPF4 Policy 22 states that development proposals will not increase the risk of surface water flooding to others, or itself be at risk. Manage all rain and surface water through sustainable urban drainage systems (SUDS). All proposals should presume no surface water connection to the combined sewer.

2.5.2 Part B of FIFEplan Policy 1 (Development Principles) applies and states that proposals should avoid flooding and impacts on the water environment. FIFEplan Policy 3 (Infrastructure and Services) applies and states that development must be designed and implemented in a manner that ensures it delivers the required level of infrastructure and functions in a sustainable manner. Such infrastructure and services may include foul and surface water drainage, including Sustainable Urban Drainage Systems (SUDS). FIFEplan Policy 12 (Flooding and the Water Environment) also applies and states that development proposals will only be supported where they can demonstrate that they will not, individually or cumulatively increase flooding or flood risk from all sources (including surface water drainage measures) on the site or elsewhere.

2.5.2 The application site is not known to have a history of flooding and is not shown to be at flood risk on the SEPA flood mapping service. The application has been shown to be supported by the implementation of a surface water management plan. Surface water would travel via two filter drains to the existing quarry drainage system. Foul water would be treated on site through the installation of domestic sewage treatment plant allowing treated water to then flow to the existing drainage system. The Council's Structural Services (Flooding, Shorelines and Harbours) Team were consulted on this application and have no objection to the drainage plans.

Accordingly, the application is compliant with the relevant national and local policy considerations.

2.6 Land Contamination and Stability

2.6.1 PAN 33: Development of Contaminated Land (2000) applies and advises that suspected and actual contamination should be investigated and, if necessary, remediated to ensure that sites are suitable for the proposed end use.

2.6.3 FIFEplan Policy 10 (Amenity) advises development proposals involving sites where land instability or the presence of contamination is suspected, the developer is required to submit details of site investigation to assess the nature and extent of any risks presented by land stability or contamination which may be present and where risks are known to be present, appropriate mitigation measures should be agreed with the Council.

2.6.4 The application site is located on potentially contaminated land due to the proximity to the active quarry. Fife Council's Land and Air Quality Team were consulted in this regard and raised concerns that building works may risk the discovery of unexpected harmful materials or substances. The team were satisfied that this would be able to be controlled through a planning condition and so had no objection to the proposal. Accordingly, the application is compliant with the relevant national and local policy considerations subject to the proposed condition.

2.7 Sustainability

2.7.1 NPF4 Policy 1 (Sustainable Places) states that when considering all development proposals significant weight will be given to the global climate and nature crises.

2.7.2 Part C of FIFEplan Policy 1 (Development Principles) states that development proposals should provide for energy conservation and generation in the layout and design. FIFEplan Policy 11 (Low Carbon Fife) states that planning permission will only be granted for new development where it has been demonstrated that the proposal meets the current carbon dioxide emissions reduction target.

2.7.2 The application was supported by the submission of a Low Carbon Checklist which outlined that the dwellings energy requirements would be met through an Air Source Heat Pump (ASHP). The proposal has also been supported by supplementary information outlining it would be constructed using locally sourced materials. The applicant also highlighted that the proposal would reduce the number of car journeys made to and from the site but no evidence of the number of journeys made was submitted and so the possible greenhouse gas emissions reduction could not be quantified. However, the low energy proposals outline an acceptable consideration of sustainability measures. Accordingly, the application is compliant with the relevant national and local policy considerations.

CONSULTATION RESPONSES

Transportation And Environmental Services - Operations Team	No response
TDM, Planning Services	No objection
Structural Services - Flooding, Shoreline And Harbours	No objection

Environmental Health (Public Protection)
Scottish Water
Land And Air Quality, Protective Services

No comment
No objection
No objection subject to condition

REPRESENTATIONS

None

CONCLUSION

The information submitted does not justify the need for a permanent dwelling on the application site. When considering that there is a precise end date to the quarrying operations, it cannot be viewed as a permanent or sustainable business. There is insufficient information on the need for a dwelling to support the agricultural business and the remediated quarry land. Once the quarrying operations have ceased and the restoration works have been carried out, the site would be viewed as isolated given its distance from any nearby dwellings and so would not be suitably sited and contribute to sporadic rural development. The isolated nature of the site would also have a significant detrimental visual impact on the surrounding area and the qualities and views of the Local Landscape Area. The proposal would therefore not comply with the terms of NPF4 and FIFEplan (2017).

DETAILED RECOMMENDATION

The application be refused for the following reason(s)

1. In the interest of safeguarding the countryside from unjustified sporadic residential development. The proposal does not meet the policy intent or criteria of NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside). The proposed dwelling would not be supporting a permanent and sustainable business and insufficient evidence has been submitted to outline that the dwelling would support an agricultural business. Therefore, the site of the proposed rural dwelling would not be in an acceptable location.
2. In the interests of visual amenity and safeguarding the rural character of the surrounding area. The site is located in an isolated location, FIFEplan policy 8 of is clear in stating that planning permission will not be granted to housing in isolated positions, NPF4 policy 17 (Rural Homes) concurs by stating that proposals must be suitably sited. The proposal is therefore contrary to these policy considerations.

3. In the interest of safeguarding the qualities and views of the Local Landscape Area. The application site is in the Cullaloe Hills and Coast Local Landscape Area which are characterised by mostly rounded interlocking hills and lower rolling farmland. The proposal is isolated in its location and so would disrupt the distinctiveness of the area and would therefore cause a significant detrimental impact to the Local Landscape Area and so is not compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).

STATUTORY POLICIES, GUIDANCE & BACKGROUND PAPERS

National Guidance

- National Planning Framework 4 (2022)
- PAN 33: Development of Contaminated Land (2000)

Local Development Plan/Guidance

- Adopted Local Development Plan - FIFEplan (2017)

Agenda Item 7(3)

**Goathill Quarry, Easter Bucklyvie, Crossgates,
Cowdenbeath**

Application No. 22/03593/FULL

Notice of Review



Fife House North Street Glenrothes KY7 5LT Email: development.central@fife.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100595127-005

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Gray Planning & Development Ltd		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Neil	Building Name:	AYE House
Last Name: *	Gray	Building Number:	
Telephone Number: *	07514278498	Address 1 (Street): *	Admiralty Park
Extension Number:		Address 2:	Rosyth
Mobile Number:		Town/City: *	Dunfermline
Fax Number:		Country: *	UK
		Postcode: *	KY11 2YW
Email Address: *	neil@grayplanning.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Collier Quarrying and Recycling Ltd"/>
First Name: *	<input type="text"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text"/>	Address 1 (Street): *	<input type="text" value="Goathill"/>
Company/Organisation	<input type="text" value="Mr Duncan Collier"/>	Address 2:	<input type="text" value="EASTER BUCKLYVIE FARM"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Crossgates"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="UK"/>
Mobile Number:	<input type="text" value=""/>	Postcode: *	<input type="text" value="KY4 8ES"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="neil@grayplanning.co.uk"/>		

Site Address Details

Planning Authority:	<input type="text" value="Fife Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="GOATHILL QUARRY"/>
Address 2:	<input type="text" value="EASTER BUCKLYVIE"/>
Address 3:	<input type="text" value="DONIBRISTLE"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="CROSSGATES"/>
Post Code:	<input type="text" value="COWDENBEATH"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="68834"/>	Easting	<input type="text" value="317970"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

ERECTION OF DWELLINGHOUSE WITH ASSOCIATED ACCESS AND HARDSTANDING

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to submitted Grounds for Review Statement

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Please refer to submitted List of Documents for appeal

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/03593/FULL

What date was the application submitted to the planning authority? *

16/08/2022

What date was the decision issued by the planning authority? *

13/04/2023

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

Site inspection is necessary owing to the proposed managers house being located on an operational quarry and not visible from public road. Site inspection would see first hand the locational need for the dwelling and its surroundings and proximity to operational quarry.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The proposed quarry managers home is located on an operational quarry site. Health and safety restricts public access. The site is isolated at the far end of a track and safer to be escorted to the site.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Neil Gray

Declaration Date: 30/05/2023

2021-25

30th May 2023

Fife Council, Committee Services,
Corporate Services Directorate
Fife House
North Street
Glenrothes, Fife
KY7 5LT

Emailed to: local.review@fife.gov.uk

Dear Sir/Madam

PLANNING APPEAL TO LOCAL REVIEW BODY – ONLINE REFERENCE 100595127-005

ERECTION OF DWELLINGHOUSE WITH ASSOCIATED ACCESS AND HARDSTANDING

**GOATHILL QUARRY, EASTER BUCKLYVIE, CROSSGATES, COWDENBEATH FIFE
(PLANNING REF: 22/03593/FULL)**

We are instructed by Mr Duncan Collier to request that Fife Local Review Body reviews the decision by the planning authority to refuse planning permission for the above proposed development. The Review has been electronically submitted with reference 100595127-005.

The Review Documents comprise the following:

- Completed Notice of Review forms
- Grounds for Review Statement
- List of Documents intended to be relied upon in the Review

Should you require any further information to assist in determining the Review, please contact me in the first instance.

Yours sincerely,



Neil Gray
MA (Hons), MSc, Dip TP, MRTPI
Director
GRAY PLANNING & DEVELOPMENT Ltd
E: neil@grayplanning.co.uk
M: 07514 278498

MR DUNCAN COLLIER

GROUNDS FOR REVIEW OF A PLANNING DECISION

ERECTION OF A SINGLE DWELLING (QUARRY MANAGERS HOME) WITH ASSOCIATED ACCESS AND PARKING

**GOATHILL QUARRY,
EASTER BUCKLYVIE,
CROSSGATES
COWDENBEATH KY4 8ES**

(PLANNING REF: 22/03593/FULL)

Online E-planning ref: 100595127-005

MAY 2023
Our Ref: 2022_25

W: www.grayplanning.co.uk

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Appendices

The following documents are referred to in this Grounds for Review Statement.

All such documents have been electronically uploaded to the ePlanning.Scot online portal.

Document GP01 – Decision Notice Application Ref: 22/O3593/FULL dated 13/04/2023

Document GP02 – Report of Handling of Planning Application 22/O3593/FULL

Document GP03 – Planning Statement - Collier Goathill Quarry Manager House -160822

Document GP04 – Approved_overall_indicative_restoration_plan (2007 Quarrying Planning Consent masterplan)

Full Planning application drawings and sections, application form, landowner certification all as submitted for planning approval.

1 INTRODUCTION

THE PROPOSED DEVELOPMENT AND REASONS FOR REFUSAL

- 1.1 These are Grounds for Review of a decision to refuse planning permission for the erection of a quarry manager's dwellinghouse, associated access and hard standing. The appeal property is Goathill Quarry, Easter Bucklyvie, Crossgates, Cowdenbeath, Fife.
- 1.2 The appellant, Mr Duncan Collier is manager of the quarrying company Collier Quarrying and Recycling Ltd (company number SC212435) incorporated in 2007.
- 1.3 As a part of Collier Quarrying and Recycling Ltd expansion program the company acquired the land at Easter Bucklyvie and obtained planning permission in 2010 to develop a rock quarry to extract quartz dolomite stone. The quarry is intended to operate under its present consent for a total of 15 years with a further 18 months for restoration works. This was subsequently superseded by a draft planning permission to extend the quarry and extend its lifespan for a further 40 years.
- 1.4 The quarrying works, and subsequent restoration will result in the creation of a country parkland which itself will require on site management in the years following cessation of quarrying activity. These time periods ahead would necessitate the quarry manager (Mr Collier) to remain on site at Goathill well beyond the 40 years and more likely well into Mr Collier's retirement. Therefore the new managers home is an essential part of the quarry and recycling business as well as an essential means to house and home Mr Collier and his family as he works through those years ahead.
- 1.5 The proposed site is located on the very northwestern boundary of the quarry, adjacent to an existing agricultural shed about 50m west of the Quarry Office (main site) complex. The site is accessed from a separate existing metalled road from the main access (a private road) that services the wider quarry, which has direct access to the B925.

REASONS FOR REFUSAL

- 1.6 The Review request is submitted under Section 43A of the Town and Country Planning (Scotland) Act 1997 (as amended 2006). The Notice of Review has been lodged within the prescribed three-month period from the refusal of planning permission dated 13th April 2023 (**Appeal Document GP01**).
- 1.7 By Delegated Powers, the Head of Planning and Development Fife Council decided to refuse the application, as recommended by a Planning Officer in the Report of Handling (**Appeal Document GP02**). The reasons for refusal per the Decision Notice (**Appeal Document GP01**), state:

1. In the interest of safeguarding the countryside from unjustified sporadic residential development. The proposal does not meet the policy intent or criteria of NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside). The proposed dwelling would not be supporting a permanent and sustainable business and insufficient evidence has been submitted to outline that the

dwelling would support an agricultural business. Therefore, the site of the proposed rural dwelling would not be in an acceptable location.

2. In the interests of visual amenity and safeguarding the rural character of the surrounding area. The site is located in an isolated location, FIFEplan policy 8 of is clear in stating that planning permission will not be granted to housing in isolated positions, NPF4 policy 17 (Rural Homes) concurs by stating that proposals must be suitably sited. The proposal is therefore contrary to these policy considerations.

3. In the interest of safeguarding the qualities and views of the Local Landscape Area. The application site is in the Cullaloe Hills and Coast Local Landscape Area which are characterised by mostly rounded interlocking hills and lower rolling farmland. The proposal is isolated in its location and so would disrupt the distinctiveness of the area and would therefore cause a significant detrimental impact to the Local Landscape Area and so is not compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).

PROPOSED PROCEDURE TO BE FOLLOWED IN DECIDING THE REVIEW

- 1.8 We recommend the Local Review Body undertakes a site visit (accompanied) and considers further written representations in deciding the case.
- 1.9 With respect to the reasons for refusal, visual inspection of the appeal site is necessary to better understand the site location and context in terms of its location and the relationship between the proposals and the existing working quarry and the long term restoration plans beyond. Given the purpose of the new dwelling is for quarry manager an essential worker at the location, the site is purposefully isolated and situated at a remote part of the working quarry. For health and safety reasons, the appellant respectfully advises the appeal site visit is accompanied to ensure safe escort of visitors to the site.
- 1.10 A site visit will enable the Local Review Body to better understand why the reasons for refusal should be reviewed. This includes:
- The location and position of the proposed dwelling is isolated and purposefully so to avoid any conflict between the operations of the quarry (i.e. transportation of goods, business visitors and staff, blasting of rock faces and the ensuing dust, noise and vibrations that occur).
 - The location of the dwelling is to coincide with the approved masterplan for quarry work restoration, upon the cessation of rock mining in 40 years. The restoration plan envisages new woodland and parkland to be situated on the hillslopes and the managers house seen as integral part of that.

2 THE APPEAL SITE AND PROPOSALS

- 2.1 Full details of the planning application site, detailed site layout, and technical land use considerations are contained in the planning application. This includes full drainage design and certification, landscaping plans (for the appeal site, as well as integration with the long term restoration plans (see **Appeal Document GP04** – masterplan for the quarry operations).
- 2.2 The proposed development is to provide a modest family home for the applicant who is a Director of Collier Quarrying and Recycling Ltd, who operates in the areas of haulage, recycling of demolition and construction waste, quarrying and land reclamation. The proposal would be a residential dwelling to be occupied by the Manager, supporting the Collier Quarrying and Recycling Ltd business. It is essential for the continued operation of the growing business, and for futureproofing of the site beyond the life time of the quarry - which justifies the need for and location of the dwelling.
- 2.3 The mineral winning area at Goathill Quarry, Easter Bucklyvie is situated on the north side of the Cullaloe Hills to the south of the B925 approximately 2.5km south of Cowdenbeath and approximately 5km north of Burntisland. The Cullaloe Hills form part of a Local Landscape Area in which the wider Crossgates and Cowdenbeath area rests. This has been an ever changing landscape. Its character is epitomized by farms, farm operations, quarrying including open cast coal workings, motorway (M90), industrial and commercial operations including a Park and Ride.
- 2.4 The land owned personally and by the applicant's company is in total circa 116 acres. This is split between: a) grazing land, b) reinstated former quarry land to agriculture and c) operational land in present working for quarry. In time (a period of 40 years) the 116 acres will be down to agriculture and woodland. The present worked and mined then restored area available is 65 acres or thereby, for agricultural use. The remaining 51 acres forming the existing rock quarry and ancillary areas include an operational wind turbine, service yards and office/workshop.
- 2.5 The proposed site is located on the very northwestern boundary of the quarry, adjacent to an existing agricultural shed about 50m west of the Quarry Office (main site) complex. The site is accessed from a separate existing metalled road from the main access (a private road) that services the wider quarry, which has direct access to the B925. This separate access road to the application site is newly constructed to a high standard and benefits from a strong landscape planting scheme along its length. The road and the planting were created following the grant of planning permission for the agricultural shed (planning reference 13/02174/FULL) in 2013.
- 2.6 To the north of the site is agricultural land, with the B925 beyond; to the east and south lies the existing quarry which is in the ownership of the applicant; and to the west by agricultural land and buildings associated with Easter Bucklyvie Farm in separate private ownership.

The proposed use is justified as a worker's dwelling as the need is directly associated with the current quarrying business and the future land restoration to a country park. There is no other suitable site off-quarry which meets the needs of the current and future uses of the site.

3 GROUNDS FOR REVIEW

3.1 Section 1 sets out the Planning Authority's reasons for refusal. Based on the evidence presented in this appeal, the appellant contends that these reasons can be set aside, and planning permission can be granted for the proposed development. This is subject to the imposition of relevant, enforceable planning conditions.

3.2 This section will argue the following Grounds:

1. The proposed dwelling for a manager does support a permanent and sustainable business which has 40 years or more of working the land surrounding for quarrying and for land restoration to a woodland landscape and country park.
2. There is limited impact on visual amenity at this location. The Planning Officer has failed to understand the present day through the next 40 years requires the new dwelling for the manager to be isolated from operational quarry activity. However in the fullness of time, the site will be integrated into a new woodland and country park within which the business owner will continue to be manager through to his retirement.
3. The Cullaloe Hills and Coast Local Landscape Area is characterised by farming business, wind turbines, quarrying, open cast coal mining, industrial plant such as Mossmorran, park and ride site, motorways and is therefore not of a pristine open countryside setting. The visual impact of one dwelling on the landscape is therefore minimal. The distinctiveness of the area would not be significantly harmed.

3.3 Each of these points is expanded in the paragraphs below, with the evidence presented and the justification given to support the appellant's case that planning permission should be granted.

3.4 Since the original submission of the planning application in August 2022 the Scottish Parliament has adopted National Planning Framework 4 (NPF 4). It forms a significant new additional development plan policy framework which is also discussed in this Statement.

3.5 The proposals meet the provisions of the Development Plan. There are also material considerations which are relevant however. These add weight to and support the appellant's case. These material considerations include:

- Succession planning for the Collier Quarrying and Recycling Ltd business. Mr Collier would one day retire from work, but the quarrying operations are long-term, and the restoration plans for woodland and country park would still require on-site presence for maintenance and security.
- The fact there is an extant planning permission in place for the extension of quarrying operations over a 40 year period, planning reference 19/03702/EIA is a significant weight to support the need for long term planning for the business manager
- Being in the quarrying sector, and its long term nature, means the company manger would be extremely unlikely to consider moving or relocating as it is impossible to do so when locationally the quarry is fixed at this location.

3.6

REASON 1 – PERMANENT SUSTAINABLE BUSINESS JUSTIFICATION

- 3.7 The planning authority's 1st reason for refusal is the proposed use is contrary to the aims of the Local Development Plan Policy 1 and 8, as well as NPF4 Policy 17 and 18 which look at housing in rural areas, as well as general development principles.
- 3.8 The Planning Officer's Report of Handling (appeal document **GP02**) outlines that NPF4 policy 17 (Rural Homes) is to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable rural homes in the right locations. FIFEPlan policy 8 (Houses in the Countryside) reiterates this, with an additional condition that proposed homes must be essential to support an existing rural business.
- 3.9 The proposed dwelling is to be for the use of the quarry manager only. This is the right location for a quarry manager's home, as the quarry is immediately adjacent and is a long-term operation. The quarry operations are dangerous, and heavily managed by health and safety regulations, as well as a need for security. Whilst the quarry business is fully-certified and trains staff and visitors, there still lies a danger to life if the site were visited inappropriately. For security reasons there is a need to maintain the managers presence on the site.
- 3.10 It has been demonstrated in the Planning Statement (appeal document **GP03**) and in the information submitted in this appeal, that the operational and business plan for Goathill quarry is to work it a further 40 years. This period is likely to coincide with the business owners' retiral and would provide succession to any family member within the quarry business. Thus, succession of business is an important factor to include in the assessment. The succession planning aspect complies with **NPF4 Policy 33 Minerals, part d** which states "*vii. Include schemes for a high standard of restoration and aftercare and commitment that such work is undertaken at the earliest opportunity*" – the restoration would be in hand with this development.
- 3.11 Whilst it is accepted that the proposed dwelling is not intended for agricultural key-worker, in which FIFEplan Policy 8 would support, the real fact is the quarry operation is located in a rural area, has planning permission to work the landscape for 40 years and requires on-site management for health and safety reasons. The comparisons with agricultural operations is quite similar – with working hours extending beyond normal office working hours; with the need to be available on site for emergency, health and safety considerations and with the need to be on site in the event of any security breach. These factors apply just as equally to minerals or quarrying sector as they do for agriculture.
- 3.12 As stated in the Planning Statement (appeal document **GP03**), the site has operated as a quarry since 2010 and has permission to operate until the 20th of December 2060, beyond which, the site will become a country park. The period of transition to country park has already started, see appeal document **GP04** which shows the phasing and progression of restoration plans to return the land back to green and managed landscape. This activity will also require an on-site presence by the quarry manager as the transition is a key part of the land use changes.
- 3.13 The restoration plans (see appeal document **GP04**) indicated an area of restored agricultural land for the proposal site. The works have been completed (including removal of the existing batching plant, offices and quarry works areas). This shows that there is a succession plan for the future post quarry operations. The use of the land will be for agriculture and as a country

park land, this will include stocking with sheep and possibly alpaca, and Mr Collier will have worked his adult life in 40 years and will by this time have retired. He would therefore be manager on the site for this period and beyond. Complying with **NPF4 Policy 17 part v**. Whilst the land is currently for quarrying operations, the land formerly agricultural will return to agricultural use, therefore as land owner, **NPF4 Policy 17 part vi** also applies which states “*Is for a single home for the retirement succession of a viable farm holding*” – the farm holding has not gone away and will once again be a productive unit. The owner owns the farm holding.

- 3.14 You will note that previous planning permission was sought for a temporary residential unit at the site, ref 13/03079/FULL - which confirms the applicant as far back as 10 years ago made a case to site residential accommodation associated with the site. Therefore despite refusal of permission, the owner Mr Collier has continued to operate the business albeit from a commuted distance and this has placed considerable constraint on the efficient management of the operations as a result
- 3.15 Currently, the quarry operation has the capacity to employ 21 people directly, with another 20 indirectly. This shows the existing use is a viable business.
- 3.16 In his Report of Handling (appeal document **GP03**) the Planning Officer argues that since the quarry works are not to continue beyond the 2060 date - the business is considered temporary. Such an assumption is incorrect, as beyond the 2060 cessation date for the quarry works, the proposed country park will require management and maintenance. This new land use would (on the basis of the extant planning permission) exist beyond and further into the future. Therefore there is no question the proposal is to support a permanent change, not temporary.
- 3.17 Most country parks and rural walking and hiking areas benefit from some form of services and workers on site. Whether this is a café, public toilets, parking attendants or park rangers delivering first aid, such services are essential in delivering a safe and sustainable country park. As such, the officer’s assumption that the current use is temporary, and no accommodation or buildings will be required on-site after 2060 is unreasonable.
- 3.18 FIFEplan Policy 8 (houses in the Countryside) requires applicants to demonstrate there is no potential for using existing accommodation in the area or the renovation of an existing property. The applicant owns all the land associated with the quarry and farm at Goathill. There is no suitable site within the working quarry. Owing to the pattern of working a quarry it would be unsuitable to choose a location which may be altered and restored over a number of decades. The chosen site has already been restored and is no longer required for operational quarry purposes therefore is the best location.
- 3.19 The quarry manager, Mr Duncan Collier, has been employed at the operational quarry over 12 years and currently commutes in to the site from elsewhere in West Fife (15 miles away). This current arrangement for the quarry manager is itself unsustainable, as he commutes daily, and has often had to return to site as site manager regularly to attend to operational matters or emergencies. This proposed approach would comply with Policy 13 Sustainable Transport of NPF4.
- 3.20 FIFEPlan Policy 8 (Houses in the countryside) states that development must be of suitable scale and nature, compatible with surrounding uses, well located for infrastructure, and designed to

protect the landscape quality of the area. The single dwelling is a modest family home, it has its own private access which exists already and is planted with trees. The surroundings are in transition, as already explained. The open isolated countryside which once existed in this location is no longer owing to urbanization and land use change including the nearby operational quarry; and other infrastructure, discussed in Reason 2 below.

- 3.21 The development is suitably scaled, being a single dwelling, complying with **NPF4 Policy 29 b** – this is a proposal for a quarry manager, in future to be a farm manager on the same site, and will contribute to part b *“the development will contribute towards local living and take into account the transport needs of the development as appropriate for the rural location”*
- 3.22 As a place for home working, i.e. the quarry manager can work in the onsite existing office, also over the site, but can also work efficiently from home at the site, then it would comply with **NPF4 Policy 26 Business and Industry part “b) Development proposals for home working,”** similarly the proposal here meets the sentiments of **NPF4 Policy 29 Rural Development part a “ix. Small scale developments that support new ways of working such as remote working”**
- 3.23 The appellant disagrees with the Planning Officer’s conclusion in the Report of Handling that *‘the house would appear as an isolated development with little context’* – as demonstrated above. The wider quarry site would be restored, to agricultural land, with landscaping and restocked fields, trees and biodiversity. The land manager, the applicant, would be continuing in the role as land owner and if living on site would be on hand to manage the restored landscape for wider community benefit. There is a very clear context to the case.
- 3.24 For the above reasons the appellant believes the proposals comply with NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside).

REASON 2 – NOT IN AN ISOLATED LOCATION AND NOT VISUAL IMPACT

- 3.25 The planning authority’s 2nd reason for refusal opines the proposed use is found in an isolated location and is not appropriate to the rural character. As such the planning authority believes the proposal is contrary to FIFEplan Policy 8 (Houses in the Countryside) and NPF4 Policy 17 (Rural Homes).
- 3.26 The site of the proposed dwelling house is a small plot within the existing quarry site, and whilst it is located within the Cullaloe Hills and Coast Local landscape Area, the proposals look to improve the existing landscape. No key views are at risk due to the development.
- 3.27 The proposed development is not isolated, as it lies a few hundred metres from the operational quarry, and a few hundred metres from an operational farm (Buchlyvie East) and within 500m of key transport connections including to Crossgates, Cowdenbeath and to the A92 Fife Regional Road.
- 3.28 The Planning Officer accepts that the proposed design of the new dwelling is acceptable. Report of Handling states: *“In terms of scale, form, design and the choice of materials, the*

proposal would be in keeping with the character of the local area and is acceptable when considered against the varying character of the nearby housing”

3.29 Currently there is signification replanting of trees being undertaken within the wider quarry site, and this will provide a key backdrop to the proposed dwelling and wider area. This also aligns with the future use as the current quarry becomes re-natured to become a country park, it will become even more united with the goals of the landscape area.

3.30 It is noted in the Planning Officer’s report that due to the topography of the area, the site is mostly hidden from view and is primarily visible from within the site only. The wider countryside area is distinctly rural with pockets of housing thar are mostly hidden from public view, and the proposed dwelling is no different, mirroring the existing pattern of development.

3.31 Locally sourced materials will be used during the construction of the proposals to ensure their harmony with the rural character of the area.

3.32 The proposals are in-keeping with NPF4 Policy 14 (Design, Quality and Place) which states that development will be designed to improve the quality of an area regardless of scale.

3.33 In addition, NPF4 policy 17 (Rural Homes) supports new homes in rural locations where the development is suitably scaled, sited and designed to be in keeping with the character of the area and the development.

3.34 In terms of scale, form, design and choice of materials, the proposals are in-keeping with the character of the local area and are considered acceptable against the varying character of local housing.

3.35 The proposed dwelling will not result in any harm or disruption to the LLA, and as such it cannot be considered to have any significant visual impact. The proposed improvements to the site will enhance natural heritage and biodiversity in line with NPF4 policies 3 and 4.

3.36 The proposals meet the criteria set out by the NPF4 6 qualities of successful places:

Healthy: The proposals introduce physical safety measures and passive surveillance to the quarry and the future country park.

Pleasant: The proposals meet the required brief for a working family home, whilst remaining within the site of the current quarry and future country park. It offers secure rural accommodation whilst providing security to the existing commercial opertations.

Connected: The site benefits from direct access to the B925.

Distinctive: The proposals use the distinctive features of the surrounding landscape to mould the dwelling into the existing landform. It takes inspiration from the surrounding quarry in its design and form.

Sustainable: The proposals have been sited to take advantage of passive elements of the site such as solar gain and shelter. In additional the proposed floorplan has been designed to provide

natural heating and the proposed insulation and low carbon technologies ensures that the proposed development has a low carbon footprint.

Adaptable: The design of the dwelling, as well as the floor plan is adaptable. The proposed design of the dwelling is a simple but contemporary design which is appropriate for its current and future needs.

3.37 For these reasons above, the Reason for refusal can be set aside, as the proposal is shown not to be isolated, nor is the scale, form or use of materials of any harm to visual amenity.

3.38 For the above reasons the appellant believes the proposals comply with NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside).

REASON 3 – DISTINCTIVENESS OF LANDSCAPE WOULD NOT BE HARMED

3.39 The planning authority's 3RD reason for refusal opines the proposed use could harm the "*distinctiveness of the local landscape*" which is the Cullaloe Hills and Coast Local Landscape Area. The appellant argues that the local landscape character has changed and continues to change owing to the economic activity and mix of uses found within the Local Landscape Area.

3.40 The appellants disagree with the sweeping conclusions of the Planning Officer on this matter. The Officer states "*The site is in the Cullaloe Hills and Coast Local Landscape Area, which is characterised by rounded interlocking hills and lower rolling farmland. The erection of an isolated dwelling in this designated area would therefore disrupt this designation and have a significant detrimental visual impact. Despite the scale, form, design and choice of materials being acceptable, this does not outweigh the visual impact that would be created due to the isolated site of the proposal.*"

3.41 The argument is about proportion and scale. The Planning Officer has mis-interpreted the wider strategic landscape setting comprising the Local Landscape Area. The Cullaloe Hills and Coast Local Landscape Area, comprises a geography of 6038 Hectares stretching from the edge of Crossgates and near the appeal site, southerly and south west and south east to the West Fife Coast. It excludes the urban settlements of Inverkeithing, Dalgety Bay, Aberdour and Burntisland and to Auchtertool and Kirkcaldy. However it encompasses all the open countryside in between. Within this open countryside between there are several significant visually characteristic uses and operations of land already existing and may already be considered to erode the local distinctiveness of the landscape: Opencast coal winning at Muir Dean, Wind Turbines at farms, mineral quarrying at Orrock, poultry units, industrial developments and works, new buildings associated with farms, forestry and in these cases the shape and use of farm and woodland is also important to consider in the context. The existing Goathill quarry is also a significant agent of change to the Local Landscape Area. Just outside the Local Landscape Area lies Mossmorran chemical plant. All of these are significant economic activities which co exist in the Local Landscape Area and are accepted as part of the landscape.

3.42 The introduction of one dwelling into this landscape is not harmful.

3.43 For the above reasons the appellant believes the proposals comply with the development plan and would not cause a significant detrimental impact to the Local Landscape Area. It is compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).

4 CONCLUSIONS

- 4.1 This Grounds for Review statement sets out the appellant's case, that the 3 reasons for refusal can be set aside, and planning permission should be granted. This is because:
- 4.2 The principle of the development is acceptable as the proposal meets relevant FIFEplan policy. Specifically, the proposal meets planning policy relating to infrastructure (Policy 3), Amenity (Policy 10) and will not harm the designated Local Landscape Area setting (Policy 13). This is because the proposed dwelling is small, positioned in a carefully selected location, making best use of existing infrastructure and land.
- 4.3 The appeal meets Policy 7 (Development in the Countryside), as the dwelling is an essential component of the existing growing business with a proven need to be located within the countryside, as well as being a house in line with the requirements of Policy 8. This is evidenced in full within this Appeal.
- 4.4 The dwelling is to provide the applicant who is both the owner of the land and the sole director of the operating quarry and haulage business based on the wider quarry site with a permanent residence. FIFEplan Policy 8 is supportive of houses in the countryside where they are essential to support an existing rural business. The site has operated as a quarry since 2010 and has a further minded to grant planning permission for an additional 40 years beyond the original planning permission. There are also a number of expansion facilities proposed as noted above which is a significant investment by the applicant and in turn is growing the business operations on site.
- 4.5 There is a requirement for a permanent residence on the site by the applicant as he is required to be on site 24 hours a day, 7 days a week, 365 days a year. A permanent presence on the site ensures the security of the land and commercial operations, including the high capital machinery within the quarry, and an on-site presence to deal with unannounced visitors. There is also the issue around security of wetlands that will be created as part of the restoration of the quarry, with operational lagoons presently on site. The safety of all is paramount to the business and on site security will make breaking into the quarry site less attractive and ensure a high level of surveillance and safety outwith the core operational hours of the quarry. Once the lifetime of the quarry has been completed and restored, there is also a need of a permanent presence on site to manage the reinstated land (a Country Park) which would be accessible to the general public.
- 4.6 The applicant is seeking planning permission for a single house within a much larger area that has been quarried for the last 12 years. Now at an advanced stage of the developments extant planning permission, and with land to the south proposed as an extension to the quarry, there is a much clearer view of where a house could be positioned in the context of the restoration of quarried lands, and that of where the quarry is being extended to. In that context, a site selection report is less relevant to a proposal relating to a quarry than it would be a farm where a specific location would be regarded as better than another. With a quarrying location, a site selection process almost works in reverse as a site location will become clearer as the phasing of the mining is completed and areas of the quarry are restored back to their original state,

- 4.7 The proposal will not harm the distinctiveness of the Local Landscape Area – as the area is already characterised with commercial, industrial and large scale operations which are making a significant contribution to the local economy. It is compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).
- 4.8 The proposal will not be in an isolated location, as the working quarry will give way to a country park and will be read as part of a changed long term landscape. The chosen location is the most suitable location owing to site a dwelling which will be occupied by the business manager and will be a succession for the family run company down the years ahead as it continues to work the quarry and transition to a country park. The proposals comply with NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside).
- 4.9 The proposal has been fully justified in the appeal with evidence to show the proposal is acceptable for the support of an established rural business and which has no other land or property in which the new dwelling could be relocated. This is the best location for health and safety, for operational and for succession reasons as explained in this statement. NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside).
- 4.10 The proposals therefore do comply with the development plan, meeting the requirements of NPF4 and FIFEplan.
- 4.11 It is respectfully requested therefore that the Local Review Body reconsider the proposals and find favour with the arguments set out in this Review and grant planning permission.

Gray Planning & Development Ltd
Neil Gray
AYE House
Admiralty Park
Rosyth
Dunfermline
UK
KY11 2YW

Planning Services

Jack Wilson

development.central@fife.gov.uk

Your Ref:

Our Ref: 22/03593/FULL

Date 13th April 2023

Dear Sir/Madam

Application No: 22/03593/FULL
Proposal: Erection of dwellinghouse with associated access and hardstanding
Address: Goathill Quarry Easter Bucklyvie Crossgates Cowdenbeath Fife

Please find enclosed a copy of Fife Council's decision notice indicating refusal of your application. Reasons for this decision are given, and the accompanying notes explain how to begin the appeal or local review procedure should you wish to follow that course.

Should you require clarification of any matters in connection with this decision please get in touch with me.

Yours faithfully,

Jack Wilson, Graduate Planner

Enc



DECISION NOTICE FULL PLANNING PERMISSION

Fife Council, in exercise of its powers under the Town and Country Planning (Scotland) Act 1997, as amended by the Planning etc. (Scotland) Act 2006 **REFUSES PLANNING PERMISSION** for the particulars specified below

Application No: 22/03593/FULL
Proposal: Erection of dwellinghouse with associated access and hardstanding
Address: Goathill Quarry Easter Bucklyvie Crossgates Cowdenbeath Fife

The plans and any other submissions which form part of this Decision notice are as shown as 'Refused' for application reference 22/03593/FULL on Fife Council's Planning Applications Online

REFUSE FOR THE FOLLOWING REASON(S):

1. In the interest of safeguarding the countryside from unjustified sporadic residential development. The proposal does not meet the policy intent or criteria of NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside). The proposed dwelling would not be supporting a permanent and sustainable business and insufficient evidence has been submitted to outline that the dwelling would support an agricultural business. Therefore, the site of the proposed rural dwelling would not be in an acceptable location.
2. In the interests of visual amenity and safeguarding the rural character of the surrounding area. The site is located in an isolated location, FIFEplan policy 8 of is clear in stating that planning permission will not be granted to housing in isolated positions, NPF4 policy 17 (Rural Homes) concurs by stating that proposals must be suitably sited. The proposal is therefore contrary to these policy considerations.
3. In the interest of safeguarding the qualities and views of the Local Landscape Area. The application site is in the Cullaloe Hills and Coast Local Landscape Area which are characterised by mostly rounded interlocking hills and lower rolling farmland. The proposal is isolated in its location and so would disrupt the distinctiveness of the area and would therefore cause a significant detrimental impact to the Local Landscape Area and so is not compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).

Dated: 13th April 2023

Declan Semple

For Head of Planning Services

PLANS

The plan(s) and other submissions which form part of this decision are: -

Reference	Plan Description
01	Location Plan
02	Block Plan
03	Proposed Site Plan
04	Floor Plan Proposed
05	Proposed Elevations
06	Planning Statement
07	Drainage statement/strategy
08	Drainage Details
09	Drainage Plan
10	SUDs and Flood Risk Assessment Certs
11	Drainage Plan
12	Flood Calculations
13	Topographic Site Plan
14	Sectional Details
15	Sectional Details
16	Landscape Layout
17	Low Carbon Sustainability Checklist

Dated:13th April 2023

Declan Semple

For Head of Planning Services

Decision Notice (Page 2 of 2) Fife Council

IMPORTANT NOTES ABOUT THIS DECISION

LOCAL REVIEW

If you are not satisfied with this decision by the Council you may request a review of the decision by the Council's Local Review Body. The local review should be made in accordance with section 43A of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc (Scotland) Act 2006 by notice sent within three months of the date specified on this notice. Please note that this date cannot be extended. The appropriate forms can be found following the links at www.fife.gov.uk/planning. Completed forms should be sent to:

**Fife Council, Committee Services, Corporate Services Directorate
Fife House
North Street
Glenrothes, Fife
KY7 5LT**

or emailed to local.review@fife.gov.uk

LAND NOT CAPABLE OF BENEFICIAL USE

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Minister, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, he/she may serve on the Planning Authority a purchase notice requiring the purchase of his/her interest in the land in accordance with Part V Town and Country Planning (Scotland) Act, 1997.

REPORT OF HANDLING
APPLICATION DETAILS

ADDRESS	Goathill Quarry, Easter Bucklyvie, Crossgates		
PROPOSAL	Erection of dwellinghouse with associated access and hardstanding		
DATE VALID	29/12/2022	PUBLICITY EXPIRY DATE	20/01/2023
CASE OFFICER	Jack Wilson	SITE VISIT	None
WARD	Inverkeithing And Dalgety Bay	REPORT DATE	07/04/2023

SUMMARY RECOMMENDATION

The application is recommended for:

Refusal

ASSESSMENT

Under Section 25 of the Town and Country Planning (Scotland) Act 1997, the determination of the application is to be made in accordance with the Development Plan unless material considerations indicate otherwise.

The Scottish Parliament voted to approve National Planning Framework 4 on the 11th January 2023, with it being formally adopted on the 13th February, 2023. NPF4 is now part of the statutory Development Plan and provides the national planning policy context and agenda for the assessment of all planning applications. NPF4 has six overarching spatial principles to support the planning and delivery of sustainable places, liveable places, and productive places. The Chief Planner has issued a formal letter providing further guidance on the interim arrangements relating to the application and interpretation of NPF4 prior to the issuing of further guidance by Scottish Ministers.

The adopted FIFEplan (2017) and associated Supplementary Guidance provides the most recent detailed planning policy for Fife and continues to be part of the Development Plan until it is replaced. The SESplan and TAY plan Strategic Development Plans and any supplementary guidance issued in connection with them no longer form part of the Development Plan.

In the context of the material considerations relevant to this application there are no areas of conflict between the overarching policy provisions of the Adopted NPF4 and the Adopted FIFEplan LDP 2017.

1.0 BACKGROUND

1.1 This application relates to a 0.5-hectare site located adjacent to the established Goathill Quarry. The site is situated within the countryside, approximately 3 kilometres south of Cowdenbeath and 3 kilometres east of Crossgates. To the east is Goathill Quarry and in all other directions is agricultural land. The B925 is to the north. The site is within the Cullaloe Hills and Coast Local Landscape Area, as defined in the adopted FIFEplan (2017) Local Development Plan. The site is mostly flat, situated on a gentle incline that slopes from the east to the west where the nearest residential property is located, 480 metres away.

1.2 Full planning permission is being sought for the erection of dwellinghouse with associated access and hardstanding. The dwelling would be two storeys in height with several gable roofs, reaching a maximum height of 9.1 metres and finished in slate. The dwelling is contemporary in design, with a stone basecourse, white roughcast exterior and natural stone detailing on the principal elevation and natural stone lintels. The windows and doors on the principal and rear elevations are a mix of black and white, a white garage door is proposed on the principal elevation.

1.3 Planning History

The site has been subject to several planning applications, those of relevance have been outlined below:

June 2010 - Environmental Impact Assessment for extraction of 3 million tonnes of quartz-dolerite stone, bunding, and associated office, weighbridge, crushing of screening plant and restoration was approved at planning committee subject to 36 conditions (planning reference: 07/04033/WEIA);

April 2014 - Full planning permission the erection of temporary residential unit (agricultural occupancy) and formation of access road, car parking and ancillary works was approved subject to 4 conditions (planning reference: 13/03079/FULL);

December 2016 - Full planning permission for the erection of dwellinghouse with associated landscaping and parking was refused. Subsequently, the application was presented to the Local Review Body where the decision was upheld (planning reference: 16/00319/FULL);

April 2023 - Environmental Impact Assessment for quarry extension, installation and operation of asphalt coating plant, installation and operation of a bottom ash processing plant and (in retrospect) formation of water settlement ponds and the erection of a concrete batching plant, concrete block storage facility and concrete testing laboratory was minded for approval at planning committee subject to 34 conditions and the signing of a Section 75 Legal Agreement which is pending decision (planning reference: 19/03702/EIA).

2.0 PLANNING ASSESSMENT

The issues to be assessed against the development plan and other material considerations are as follows:

- Principle of Development
- Design and Visual Impact
- Natural Heritage
- Transportation
- Flooding and Drainage
- Land Contamination and Stability
- Sustainability

2.1 Principle of Development

2.1.1 NPF4 Policy 17 (Rural Homes) states that rural homes may be acceptable where it is demonstrated to be necessary to support the sustainable management of a viable rural business and there is an essential need for a worker to live permanently at or near their place of work or is for a single home for the retirement succession of a viable farm holding. The purpose of this policy is to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable rural homes in the right locations. NPF4 Policy 29 (Rural Development) states that development proposals in rural areas should also consider how the development will contribute towards local living and take into account the transport needs of the development as appropriate for the rural location.

2.1.2 FIFEplan Policy 1 (Development Principles) applies in this regard. Part A of Policy 1 outlines that the principle of development will be supported if it is either a) within a defined settlement boundary and compliant with the policies for the location; or b) in a location where the proposed use is supported through the development plan. Part B of Policy 1 states that in the case of proposals in the countryside or green belt, be a use appropriate for these locations. FIFEplan Policy 8 (Houses in the Countryside) applies and states that Development of houses in the countryside will only be supported where it is essential to support an existing rural business.

2.1.3 The supporting text of Policy 8 states that the fact that a business is established in a rural area is not enough to justify building a house in the countryside. Proposals for housing must justify the need to have residential accommodation and a continuous presence at the site. They will also need to demonstrate that there is no potential for using existing accommodation in the area or the renovation of an existing property. For housing associated with an existing business the house should be sited so that it fulfils the purpose its intended for and be located close to existing buildings. If planning permission is applied for a house based on its relationship to agriculture, forestry, or another type of rural business, supporting information will need to be submitted to allow the proposal to be assessed. For agriculture and forestry, this information will need to include:

where the farm or business boundaries are;

the number of existing buildings;

whether buildings are used or occupied or not;

the number of workers, where they live and if they are full or part time;

the type of work the house is needed for and why; and

any other information the applicant feels is necessary to justify the proposal

2.1.4 This application site is not situated within a defined settlement boundary as designated in the adopted Local Development Plan - FIFEplan (2017) and so is classed as being in the countryside. There is therefore no presumption in favour of development and the proposal must be demonstrated to be compliant with the relevant national and local policy considerations. This proposal has been proposed to be necessary for the use of the manager of Goathill Quarry, an established rural business. Goathill Quarry initially received planning permission in 2010 to begin quarrying and an application (reference: 19/03702/EIA) was approved to allow an extension to the quarry and extending its operation lifetime. Condition 1 of 19/03702/EIA states an exact end date of operations of 20th December 2060, when all buildings and ancillary equipment are required to be dismantled and removed from the site, and the ground fully reinstated to the satisfaction of Fife Council as Planning Authority. The applicant has demonstrated that the business could now no longer be viewed as temporary however, Condition 1 of 19/03702/EIA would contradict this. As such, the business could not be viewed as permanent or sustainable and the proposal would therefore result in an isolated house in the countryside. It is acknowledged that while there may be uncertainty around the viability and sustainability of any rural business, this case presents the issue of a precise end date to operations at which point a permanent dwelling would remain on site.

2.1.5 In cases of rural housing supporting businesses, both NPF4 and FIFEplan require it to be demonstrated that there is an essential need for a worker to live on site. This proposal would be for the use of the manager of the quarry to support Collier Quarrying LTD and Recycling businesses. Specifically, the proposal would be to ensure there is a permanent presence on the site for security reasons, to deal with unannounced visitors and for the maintenance of the associated agricultural business and maintenance of the restored land which has been described as a Country Park. It is acknowledged that the nature of the business means that expensive equipment is required to be always kept on site and that a permanent presence on site would create a sense of natural surveillance that would deter potential theft attempts. It is unclear if theft attempts, and unannounced visitors are an ongoing risk to the business that would justify the need for this permanent presence. The quarry has been in operation for over 10 years and in 2013, temporary accommodation was approved for an initial 2-year period. An application for a permanent dwelling was submitted in 2016, was refused that year and the decision was upheld at the Local Review Body in 2017. This outlines that the business has been able to operate without a permanent dwelling on site and insufficient evidence has been submitted to prove to the planning authority that the permanent dwelling is necessary for the site.

2.1.6 For a dwelling to be justified as part of an agricultural business it must be demonstrated that it is necessary for the operational needs of the business. Some of the agricultural business boundary has been outlined and some of the outbuildings located within the applicant's ownership are dedicated to its operation, although it is unclear if these are dedicated to the sole use of the agricultural business. No information has been provided that outlines the number of workers, where they live and if they are full or part time. The type of work the house is needed for has been described as the rearing of sheep and possibly alpacas but it is unclear how this would justify a permanent on-site presence and dwelling. Regarding the managing of the Country Park, it is again unclear what the management would involve and how this would

require an onsite permanent presence. When reviewing the approved plans of the restoration of the quarry and implementation of the Country Park.

2.1.7 The application has been supported by justification for a permanent dwelling on site however this relies heavily on the planning authority accepting that the quarry business is to be considered a sustainable and permanent business. It is acknowledged that this is a viable business as has been shown by the extensive planning history, however, the clear end date to quarrying operations directly conflicts with the justification of the business being permanent. The application has been supported by limited information on how the dwelling would support the agricultural business and management of the restored land and subsequent Country Park. A clear need for the dwelling for the use of a worker has therefore not been met and the proposal is therefore not compliant with the relevant national and local policy considerations.

2.2 Design and Visual Impact

2.2.1 NPF4 Policy 14 (Design, quality and place) states that development proposals will be designed to improve the quality of an area whether in urban or rural locations and regardless of scale. NPF4 Policy 17 (Rural Homes) states that development proposals for new homes in rural areas will be supported where the development is suitably scaled, sited and designed to be in keeping with the character of the area and the development. NPF4 Policy 29 (Rural Development) states that development proposals in rural areas should be suitably scaled, sited and designed to be in keeping with the character of the area.

2.2.2 FIFEplan Policy 8 (Houses in the Countryside) applies and states that Development of houses in the countryside will only be supported where it is essential to support an existing rural business. In all cases, development must be:

of a scale and nature compatible with surrounding uses;

well-located in respect of available infrastructure and contribute to the need for any improved infrastructure; and

located and designed to protect the overall landscape and environmental quality of the area.

The supporting text of Policy 8 outlines that planning permission will not be granted if the house is:

in an isolated position;

on a prominent site; or

sited at a distance from existing building groups.

FIFEplan Policy 10 (Amenity) applies and outlines that development will only be supported if it does not have a significant detrimental visual impact on the amenity of existing or proposed land uses.

2.2.3 The proposal is a two storey S-shaped dwelling that is contemporary in style, finished in white render with natural stone detailing. Both NPF4 and FIFEplan require rural housing to be in keeping with the local character of the surrounding area. The surrounding area has a few residential properties with the nearest house located 400 metres to the east at Easter Bucklyvie

farm and includes a traditional two storey farmhouse and a group of two, one storey, contemporary dwellings required for the maintenance of the farm. Planning permission was granted for a third dwelling of this group for the occupancy of a farm worker. The next nearest housing is located 1.5km away at the disused Cullaloe Quarry. The group includes 3 one storey dwellings which are traditional in appearance. All nearby dwellings are finished in either stone or render. In terms of scale, form, design and the choice of materials, the proposal would be in keeping with the character of the local area and is acceptable when considered against the varying character of the nearby housing.

2.2.4 While the location of the proposal would be on a prominent site and with proximity to existing buildings associated with the business, the site would be isolated. As outlined in section 2.1.4, once the quarrying operations have ceased and the restoration works have been carried out, the site would be viewed as isolated given its distance from any nearby dwellings. Policy 8 of FIFEplan is clear in outlining that planning permission would not be granted to housing in isolated positions, NPF4 concurs by stating that proposals must be suitably sited. The site is in the Cullaloe Hills and Coast Local Landscape Area, which is characterised by rounded interlocking hills and lower rolling farmland. The erection of an isolated dwelling in this designated area would therefore disrupt this designation and have a significant detrimental visual impact. Despite the scale, form, design and choice of materials being acceptable, this does not outweigh the visual impact that would be created due to the isolated site of the proposal. The proposal is therefore not compliant with the relevant national and local policy considerations.

2.3 Natural Heritage

2.3.1 NPF4 Policy 3 (Biodiversity) states that proposals for local development will include appropriate measures to conserve, restore and enhance biodiversity, in accordance with national and local guidance. Measures should be proportionate to the nature and scale of development. NPF4 Policy 4 (Natural places) states that development proposals that affect a site designated as a local nature conservation site or landscape area in the LDP will only be supported where development will not have significant adverse effects on the integrity of the area or the qualities for which it has been identified.

2.3.2 Part B of FIFEplan Policy 1 (Development Principles) states that proposals must safeguard the character and quality of the landscape. FIFEplan Policy 13 (Natural Environment and Access) applies and states that development proposals will only be supported where they protect or enhance natural heritage including landscape character and views.

2.3.3 The site is located within the Cullaloe Hills and Coast Local Landscape Area, situated towards the northern boundary. Due to the topography of the area, the site is mostly hidden from view and primarily visible from within the site. The Cullaloe Hills and Coast Local Landscape Area, are characterised by mostly rounded interlocking hills and lower rolling farmland. The area is distinctly rural with pockets of housing that is mostly hidden from public view. The site is prominent in this area although mostly hidden from view, but the disruption of the Local Landscape Area would have a significant detrimental impact on the qualities of the Local Landscape area. NPF4 requires all local developments to include appropriate biodiversity enhancements. The Making Fife's Places supplementary guidance defines this as increasing biodiversity, restoring degraded habitats or establishing new habitats and features which will support wildlife, create larger stable habitat areas and habitat networks for species. Given the rural location of the site, there is ample opportunity for biodiversity enhancement. The application is supported by a landscape plan that outlines that much of the plot would be

grassed with ample tree and hedge planting. Overall, the proposals isolated nature would cause inevitable disruption to the Local Landscape Areas qualities and views and would therefore not be acceptable when considered against the relevant national and local policy considerations.

2.4 Transportation

2.4.1 NPF4 Policy 13 (Sustainable Transport) states that development proposals will be supported where it can be demonstrated that the transport requirements generated have been considered in line with the sustainable travel and where appropriate they will be accessible by public transport, ideally supporting the use of existing services.

2.4.2 FIFEplan Policy 3 (Infrastructure and Services) applies and states that development must provide the required level of infrastructure, in this case local transport and safe access routes.

2.4.3 The proposal would utilise an existing driveway that serves the agricultural shed adjacent to the application site and has been shown to accommodate ample space for parking. The application has been supported by outlining that the manager of the site would be able to reduce the number of car journeys to and from the site. This justification is anecdotal and provides no justification for the need of a permanent dwelling. Additionally, rural living may also result in an increase in the length of journeys made to essential services and amenities. Overall, there is an insufficient level of justification that would outweigh the outlined concerns of the siting of the dwelling in an isolated countryside location for an associated temporary business. The Council's Transportation Development Management team were consulted in this regard and have no objection to the proposal. Accordingly, the proposal is compliant with the relevant national and local policy considerations.

2.5 Flooding and Drainage

2.5.1 NPF4 Policy 22 states that development proposals will not increase the risk of surface water flooding to others, or itself be at risk. Manage all rain and surface water through sustainable urban drainage systems (SUDS). All proposals should presume no surface water connection to the combined sewer.

2.5.2 Part B of FIFEplan Policy 1 (Development Principles) applies and states that proposals should avoid flooding and impacts on the water environment. FIFEplan Policy 3 (Infrastructure and Services) applies and states that development must be designed and implemented in a manner that ensures it delivers the required level of infrastructure and functions in a sustainable manner. Such infrastructure and services may include foul and surface water drainage, including Sustainable Urban Drainage Systems (SUDS). FIFEplan Policy 12 (Flooding and the Water Environment) also applies and states that development proposals will only be supported where they can demonstrate that they will not, individually or cumulatively increase flooding or flood risk from all sources (including surface water drainage measures) on the site or elsewhere.

2.5.2 The application site is not known to have a history of flooding and is not shown to be at flood risk on the SEPA flood mapping service. The application has been shown to be supported by the implementation of a surface water management plan. Surface water would travel via two filter drains to the existing quarry drainage system. Foul water would be treated on site through the installation of domestic sewage treatment plant allowing treated water to then flow to the existing drainage system. The Council's Structural Services (Flooding, Shorelines and Harbours) Team were consulted on this application and have no objection to the drainage plans.

Accordingly, the application is compliant with the relevant national and local policy considerations.

2.6 Land Contamination and Stability

2.6.1 PAN 33: Development of Contaminated Land (2000) applies and advises that suspected and actual contamination should be investigated and, if necessary, remediated to ensure that sites are suitable for the proposed end use.

2.6.3 FIFEplan Policy 10 (Amenity) advises development proposals involving sites where land instability or the presence of contamination is suspected, the developer is required to submit details of site investigation to assess the nature and extent of any risks presented by land stability or contamination which may be present and where risks are known to be present, appropriate mitigation measures should be agreed with the Council.

2.6.4 The application site is located on potentially contaminated land due to the proximity to the active quarry. Fife Council's Land and Air Quality Team were consulted in this regard and raised concerns that building works may risk the discovery of unexpected harmful materials or substances. The team were satisfied that this would be able to be controlled through a planning condition and so had no objection to the proposal. Accordingly, the application is compliant with the relevant national and local policy considerations subject to the proposed condition.

2.7 Sustainability

2.7.1 NPF4 Policy 1 (Sustainable Places) states that when considering all development proposals significant weight will be given to the global climate and nature crises.

2.7.2 Part C of FIFEplan Policy 1 (Development Principles) states that development proposals should provide for energy conservation and generation in the layout and design. FIFEplan Policy 11 (Low Carbon Fife) states that planning permission will only be granted for new development where it has been demonstrated that the proposal meets the current carbon dioxide emissions reduction target.

2.7.2 The application was supported by the submission of a Low Carbon Checklist which outlined that the dwellings energy requirements would be met through an Air Source Heat Pump (ASHP). The proposal has also been supported by supplementary information outlining it would be constructed using locally sourced materials. The applicant also highlighted that the proposal would reduce the number of car journeys made to and from the site but no evidence of the number of journeys made was submitted and so the possible greenhouse gas emissions reduction could not be quantified. However, the low energy proposals outline an acceptable consideration of sustainability measures. Accordingly, the application is compliant with the relevant national and local policy considerations.

CONSULTATION RESPONSES

Transportation And Environmental Services - Operations Team	No response
TDM, Planning Services	No objection
Structural Services - Flooding, Shoreline And Harbours	No objection

Environmental Health (Public Protection)
Scottish Water
Land And Air Quality, Protective Services

No comment
No objection
No objection subject to condition

REPRESENTATIONS

None

CONCLUSION

The information submitted does not justify the need for a permanent dwelling on the application site. When considering that there is a precise end date to the quarrying operations, it cannot be viewed as a permanent or sustainable business. There is insufficient information on the need for a dwelling to support the agricultural business and the remediated quarry land. Once the quarrying operations have ceased and the restoration works have been carried out, the site would be viewed as isolated given its distance from any nearby dwellings and so would not be suitably sited and contribute to sporadic rural development. The isolated nature of the site would also have a significant detrimental visual impact on the surrounding area and the qualities and views of the Local Landscape Area. The proposal would therefore not comply with the terms of NPF4 and FIFEplan (2017).

DETAILED RECOMMENDATION

The application be refused for the following reason(s)

1. In the interest of safeguarding the countryside from unjustified sporadic residential development. The proposal does not meet the policy intent or criteria of NPF4 Policy 17 (Rural Homes), 19 (Rural Development) and FIFEplan Policy 1 (Development Principles) and 8 (Houses in the Countryside). The proposed dwelling would not be supporting a permanent and sustainable business and insufficient evidence has been submitted to outline that the dwelling would support an agricultural business. Therefore, the site of the proposed rural dwelling would not be in an acceptable location.
2. In the interests of visual amenity and safeguarding the rural character of the surrounding area. The site is located in an isolated location, FIFEplan policy 8 of is clear in stating that planning permission will not be granted to housing in isolated positions, NPF4 policy 17 (Rural Homes) concurs by stating that proposals must be suitably sited. The proposal is therefore contrary to these policy considerations.

3. In the interest of safeguarding the qualities and views of the Local Landscape Area. The application site is in the Cullaloe Hills and Coast Local Landscape Area which are characterised by mostly rounded interlocking hills and lower rolling farmland. The proposal is isolated in its location and so would disrupt the distinctiveness of the area and would therefore cause a significant detrimental impact to the Local Landscape Area and so is not compliant with NPF4 policy 4 (Natural places) and FIFEplan policy 13 (Natural Environment and Access) and 29 (Rural Development).

STATUTORY POLICIES, GUIDANCE & BACKGROUND PAPERS

National Guidance

- National Planning Framework 4 (2022)
- PAN 33: Development of Contaminated Land (2000)

Local Development Plan/Guidance

- Adopted Local Development Plan - FIFEplan (2017)



MR DUNCAN COLLIER

PLANNING STATEMENT

ERECTION OF A SINGLE DWELLING (QUARRY MANAGERS HOME), WITH ASSOCIATED ACCESS AND PARKING

**LAND 50M WEST OF GOATHILL QUARRY
EASTER BUCKLYVIE
CROSSGATES
FIFE
KY4 8ES**

August 2022

Our Ref: 2021_25

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1 INTRODUCTION

PLANNING STATEMENT PURPOSE

- 1.1 This Planning Statement has been prepared by Gray Planning & Development Ltd, on behalf of the applicant Mr Duncan Collier, who has been operating in this locale managing the operational rock quarry called Goathill Quarry, Easter Bucklyvie, near Crossgates. The Statement supports the submitted drawings prepared by Andrew Allan Architecture Ltd and Drainage Design Strategy by Christie Gillespie Consulting Ltd.
- 1.2 This Planning Statement supports the proposals and demonstrates compliance with the Development Plan and other material considerations. A clear description of the proposal being submitted for the approval of Fife Council is given, and sets out the facts relating to choice of location; content of the proposals; planning history, and an assessment of the relevant Development Plan policies; and any other material considerations relevant to the application.
- 1.3 A detailed planning application has been submitted to Fife Council for the:
- 'Erection of a single dwelling (quarry managers home) with associated access and parking at land 50m west of Goathill Quarry, Easter Bucklyvie Farm, Crossgates KY4 8ES '*
- 1.4 The proposed development is to provide a modest family home for the applicant who is a Director of Collier Quarrying and Recycling Ltd who operates in the areas of haulage, recycling of demolition and construction waste, quarrying and land reclamation. The proposal would be a residential dwelling to be occupied by the Manager, supporting the Collier Quarrying and Recycling Ltd business. It is essential for the continued operation of the growing business, and for futureproofing of the site beyond the life time of the quarry - which justifies the need for and location of the dwelling.
- 1.5 As a part of Collier Quarrying and Recycling Ltd expansion program the company acquired the land at Easter Bucklyvie and obtained planning permission in 2010 to develop a rock quarry to extract quartz dolomite stone. The quarry is intended to operate under its present consent for a total of 15 years with a further 18 months for restoration works. This was subsequently superseded by a draft planning permission to extend the quarry and extend its lifespan for a further 40 years. Planning history of the site can be found in full at paragraph 2.6.

2 BACKGROUND AND SITE DESCRIPTION

LAND BOUNDARY AND EXTENT

- 2.1 The mineral winning area at Goathill Quarry, Easter Bucklyvie is situated on the north side of the Cullaloe Hills to the south of the B925 approximately 2.5km south of Cowdenbeath and approximately 5km north of Burntisland.
- 2.2 The proposed site is located on the very north western boundary of the quarry, adjacent to an existing agricultural shed about 50m west of the Quarry Office (main site) complex. The site is accessed from a separate existing metalled road from the main access (a private road) that services the wider quarry, which has direct access to the B925. This separate access road to the application site is newly constructed to a high standard and benefits from a strong landscape planting scheme along its length. The road and the planting were created following the grant of planning permission for the agricultural shed (planning reference 13/02174/FULL) in 2013.
- 2.3 To the north of the site is agricultural land, with the B925 beyond; to the east and south lies the existing quarry which is in the ownership of the applicant; and to the west by agricultural land and buildings associated with Easter Bucklyvie Farm in separate private ownership.
- 2.4 The site lies on a cleared flat area within the quarry boundaries as shown below in Figure 1. The proposed site measures an area of approximately 840 sq m. The site is entirely within the ownership of the applicant. The site benefits from an existing access road which is separate from the access road that is utilised by quarry vehicles.



Figure 1: Proposed site location

PLANNING HISTORY

- 2.5 There is quite a significant planning history relating to the lifespan of the quarry to date, including the proposed site itself. A search of Fife Council's planning database indicates the following relevant planning history surrounding or associated with the site of the proposal:

Planning Reference	Description	Status
07/04033/WEIA	Extraction of 3 million tonnes of quartz dolomite stone, bunding and associated office, weigh bridge, crushing of screening plant and restoration	Approved June 2010
11/03626/FULL	Erection of workshop and storage shed	Approved September 2011
13/00212/FULL	Extension to industrial building and formation of partial mezzanine floor	Approved June 2013
13/02029/EIA	Erection of one wind turbine (maximum 100m high ground to tip of blade), formation of access track, erection of ancillary buildings and other ancillary development including cabling (removing of conditions 13, 14 and 21 of planning permission 11/05591/EIA)	Approved November 2013
13/02174/FULL	Erection of agricultural shed	Approved October 2013
13/03079/FUL	Erection of temporary residential unit (agricultural occupancy) and formation of access road, car parking and ancillary works	Approved April 2014
15/00308/FULL	Erection of 2 storey office building (Class 4)	Approved March 2015
16/00319/FULL	Erection of dwellinghouse with associated landscaping and parking	Refused December 2016, LRB refused March 2017
19/02176/FULL	Formation of acoustic amenity bund (retrospect)	LIVE
19/03702/EIA	EIA for quarry extension, installation and operation of asphalt coating plant, installation and operation of a bottom ash processing plant and (in retrospect) formation of water settlement ponds and the erection of a concrete batching plant, concrete block storage facility and concrete testing laboratory	Minded to grant subject to the signing of a S75 Legal Agreement

- 2.6 The above planning history is a material consideration in the determination of the planning application as they phase and control the progress of working the hillside over the lifetime of the quarry to date. There is also a live planning application which is minded to grant permission subject to the signing of a S75 Legal Agreement (19/03702/EIA). This will extend the quarrying operations for a further 40 years, with other relevant restoration works returning the quarried lands back to its original landform which articulates the cycle of a mined site. This is very different from most development as the landform changes over the lifetime of the consented development many times, ending with restored site.

2.7 Furthermore, the site also has planning permissions in place to that for the rock quarry for an agricultural shed (13/02174/FULL); temporary accommodation (13/03079/FULL); a permanent office building (15/00308/FULL); and, consent for a wind turbine (13/02029/EIA) which add to the growth of the applicant's business.

3 THE PROPOSED DEVELOPMENT

USE

- 3.1 The land owned personally and by the applicant's company is in total circa 116 acres. This is split between grazing land, reinstated land to agriculture and operational land. In time (a period of 40 years) the 116 acres will be down to agriculture and woodland. The present worked and mined then restored area available is 65 acres or thereby, for agricultural use. The remaining 51 acres forming the existing rock quarry and ancillary areas covered by an operational wind turbine, service yards and office/workshop.
- 3.2 The proposed house would be located as shown in Figure 1 earlier, and Figure 2 below and on the formal plans submitted with this planning application. An existing cleared site located on the north west boundary of the wider quarry site lying 50m from the existing quarry office/workshops and 30m from the existing agricultural shed.



Figure 2: Proposed site layout

- 3.3 The proposal is to construct a new dwelling to be occupied by the applicant who is both the owner of the land and the sole director of the operating quarry and haulage company based on the wider site. It would thus be a manager's home associated with the quarry operations and future (long term) redevelopment and restoration of the quarry into a country park and farmland which the applicant currently manages and plans to do so through the operational cycles over the next 40 years. The new dwelling is modest in form and details of this are found on the attached supporting drawings and below in paragraph 3.11.
- 3.4 The use of the land is currently in transition, being a cleared site, with the proposal being necessary for the continued growth and expansion of the business.
- 3.5 The use is justified as a worker's dwelling as the need is directly associated with the quarrying business and there is no other suitable site off-quarry that would meet the needs of the business.

BUILDING AND WORKS

- 3.6 The proposed house is S-shaped, facing in a north eastern direction, and 1.5 stories in height. The submitted drawings by Andrew Allan Architecture refer.
- 3.7 On the ground level is an integrated double garage, open plan dining and living room, open place kitchen and family room, a shower room, toilet, and a bedroom with en-suite. At first floor level are 4 bedrooms, 3 en-suite (with 2 bedrooms sharing and jack and gill en-suite), and a bathroom. The master bedroom also has access to a balcony facing a south westerly direction.
- 3.8 The house also has a good size garden wrapping around the property at the front, side (north) and back of the property.
- 3.9 The building is therefore modest and designed for functionality and with suitable living space for a family.
- 3.10 The use of materials is detailed in the submitted drawings. The materials proposed include a stone base course; natural stone lintels, cills and mullions; natural stone; white roughcast; black uPVC rainwater pipes and gutters; slate roof; and lead ridge caps. It also proposes a full height glazed screen (low U-Value); white uPVC fascia and soffits; triple glazed windows (low U-Value); 2-part sliding pation doors (Low U Value); and, a glazed handrail regarding the balcony area.

RELATIONSHIP BETWEEN DEVELOPMENT AND LOCAL LANDSCAPE AREA

- 3.11 The proposed development lies within a Local Landscape Area, as defined in FIFEplan, the Local Development Plan. See Section 4 to follow for further policy details.
- 3.12 The Cullaloe Hills and Coast Local Landscape Area is designated across a wider area than within the application site. It broadly provides a backdrop to the Fife Coast and includes rolling hill features across Aberdour, Burntisland and Kirkcaldy. However, we note the Management Recommendations for the Local Landscape Area at this location (as reported by LUC Consulting in 2009) that *“Larger scale or visually prominent coastal development should be avoided to maintain key views of the Firth of Forth and conserve the proportion of settlement to undeveloped coastal edge. Management to maintain woodlands at the coastal braes with replacement planting will enhance the character of these areas. Views to the scarp slopes at the coastal edge are particularly important and should be maintained. The inland farmland is distinguished by the rolling farmland and the maintenance of the field boundaries accentuates the landform”*.
- 3.13 The proposal is a very small scale development and will not harm or result in loss of key views of the Firth of Forth and it is not associated with the settlement growth around. There is no woodland associated with the proposal however the existing surrounding woodland which is part of the character of the landscape will provide the key backdrop to the site, with significant replanting of trees already being undertaken as part of the reinstatement of the wider quarrying site. This is shown below in Figure 3.



Figure 3: Photograph of replanting adjacent to proposed site

- 3.14 As will be discussed and examined in Section 4, the proposed development demonstrates through form, scale, layout, detailing, siting, design, materials, and landscape treatment, how the development will contribute to the conservation, restoration, or enhancement of the local landscape area and its associated character and qualities.

4 DEVELOPMENT PLANNING POLICY

DEVELOPMENT PLAN

- 4.1 Section 25 of the Town and Country Planning (Scotland) Act 1997 and as amended by the Planning etc. (Scotland) Act 2006, requires the determination of a planning application must be made in accordance with the Development Plan, unless material considerations indicate otherwise.
- 4.2 The current Development Plan comprises SESplan the Strategic Development Plan for the area (approved June 2013) and FIFEplan Local Development Plan (adopted September 2017). Other planning guidance is also relevant (presented in Sections 4 and 5).

SESPLAN

- 4.3 There are no specific strategic planning policies relevant, however SESplan's over-arching vision is '*by 2032, the Edinburgh City Region is a healthier, more prosperous and sustainable place which continues to be internationally recognised as an outstanding area in which to live, work and do business*'.

FIFEPLAN

- 4.4 With reference to FIFEplan, the site itself lies outside any defined settlement, and thus lies in the open countryside within the allocated Local Landscape Area (Cullaloe Hills and Coast). Broadly, therefore the application should assess the suitability of the use and building in terms of rural development and in the context of existing surrounding uses and designations.
- 4.5 The proposal should be assessed against these key policy areas outlined below.

POLICY 1 – DEVELOPMENT PRINCIPLES

- 4.6 The proposed development conforms with Policy 1 Part A as it will be demonstrated that the proposal complies with general development principles of FIFEplan, subject to detailed consideration below.
- 4.7 Policy 1 Part B requires the proposals to comply with eleven criteria about development impact. With respect to infrastructure, there is no resultant loss of infrastructure, as the proposed new dwelling will tie into existing water and power supply and no new connections are required. The existing quarry access adjoins the B925 and then separate existing internal private track leading to the site are to be used. There will be no resultant loss of cultural, tourism or community resources. As a dwelling for the quarry manager, the use will provide benefit to the quarry enterprise only. The new dwelling itself is of simple architectural design. The design is to match and be in keeping with the existing rural design within the locale. Its simple form, materials and finish is intended to safeguard the rural environment characteristics and protect the local landscape setting. The choice of location explained below supports the fact the proposal protects local landscape character and is a sensitively sited development.
- 4.8 It is considered that the principle of the development is acceptable as it complies with the Development Plan in that it relates to essential quarry worker dwelling associated with the existing business, Collier Quarrying and Recycling Ltd. The overall acceptability of such a development must however also meet other policy criteria and these issues are considered in detail below

POLICY 3 – INFRASTRUCTURE AND SERVICES

- 4.9 Although the site is currently not accessible to the public due to the operation of the quarry, this will change once the quarry as ceased operations and reinstated for public access. The design and layout of

the proposal is such that it has taken cognisance of local transport and access routes which link with existing green networks, utilising the guidance in Making Fife's Places Guidance.

POLICY 7 – DEVELOPMENT IN THE COUNTRYSIDE

- 4.10 The site lies in the open countryside, located within an area that is currently an operational quarry mine. FIFEplan Policy 7 states *“Development in the countryside will only be supported where it: 1. is required for agricultural, horticultural, woodland, or forestry operations; 2. will diversify or add to the above land-based businesses to bring economic support to the existing business; 3. is for the extension of established businesses; 4. is for small-scale employment land adjacent to settlement boundaries, excluding green belt areas, and no alternative site is available within a settlement boundary which contributes to the Council's employment land supply requirements; 5. is for facilities for access to the countryside; 6. is for facilities for outdoor recreation, tourism, or other development which demonstrates a proven need for a countryside location; or 7. is for housing in line with Policy 8 (Houses in the Countryside)*
- 4.11 Whilst the proposal site sits significantly apart from any settlement in what would be termed ‘*the countryside*’, the site sits within an existing operational quarry, with an extension to the quarry minded to grant to the south on land currently forested by the Forestry and Land Scotland, the immediate landscape of the general location is dominated by the significant industrial presence of the Mossmorran Petrochemical Complex to the northeast and the 9 large wind turbines immediately beyond, which is between the Mossmorran plant and the A92 Dunfermline to Kirkcaldy due carriageway. There are another three large wind turbines immediately adjacent to the quarry itself; two in the field north of the quarry entrance and one in a field to the west of the quarry across the A909 Cowdenbeath to Burntisland road. The quarry itself also has a large turbine within its boundary which provides power for the quarry.
- 4.12 Policy 7 states that development in the countryside will only be permitted where it demonstrates a proven need for the countryside location and recognises that in some cases, as with minerals, countryside locations are the most appropriate, or only feasible locations for development as minerals can only be worked where they lie. Policy 7 also supports housing in line with Policy 8 (Houses in the Countryside) which is discussed in more detail below.
- 4.13 The proposed worker dwelling is required for quarrying operations, a Quarry Manager's house for the Collier Quarrying and Recycling Ltd business which is essential for the continued operation of the growing business, and futureproofing of the site beyond the life time of the quarry which justifies the need for and location of the dwelling.
- 4.14 Policy 7 requires that in all cases, development must: “be of a scale and nature compatible with surrounding uses; be well-located in respect of available infrastructure and contribute to the need for any improved infrastructure; and be located and designed to protect the overall landscape and environmental quality of the area.”
- 4.15 The proposed new dwelling is of a scale and nature that is in keeping with the surrounding uses and form. Due to the nature of quarrying operations, the overall site changes dramatically over time, with the original scale and form being cut, then filled back and restored again. While the proposed site is currently cleared, the reinstatement of the adjacent land has already commenced as shown in Figure 3 and will in the fullness of time be set within a much wider landscape setting as articulated in the below text relating to Policy 8.

POLICY 8 – HOUSES IN THE COUNTRYSIDE

- 4.16 Policy 8 explains the authority will support houses in the countryside only where:

1. *It is essential to support an existing rural business*
2. *It is for a site within an established and clearly defined cluster of five houses or more*
3. *It is for a new housing cluster that involves imaginative and sensitive re-use of previously used land and buildings, achieving significant visual and environmental benefits*
4. *It is for the demolition and subsequent replacement of an existing house provided the following all apply:*
 - a) *the existing house is not listed or of architectural merit;*
 - b) *the existing house is not temporary and has a lawful use; or*
 - c) *the new house replaces one which is structurally unsound and the replacement is a better quality design, similar in size and scale as the existing building, and within the curtilage of the existing building.*
5. *It is for the rehabilitation and/or conversion of a complete or substantially complete existing building*
6. *It is for small-scale affordable housing adjacent to a settlement boundary and is required to address a shortfall in local provision, all consistent with Policy 2 (Homes)*
7. *A shortfall in the 5-year effective housing land supply is shown to exist and the proposal meets the terms of Policy 2 (Homes)*
8. *It is a site for Gypsy/Travellers or Travelling Show people and complies with Policy 2 (Homes) or*
9. *It is for an eco-demonstration project proposal that meets the strict requirements of size, scale, and operation set out in Figure 8.1 below*

In all cases, development must be:

of a scale and nature compatible with surrounding uses;

well-located in respect of available infrastructure and contribute to the need for any improved infrastructure; and

located and designed to protect the overall landscape and environmental quality of the area.

- 4.17 As a part of Collier Quarrying and Recycling Ltd expansion program, the company acquired the land at Easter Bucklyvie and obtained planning permission in 2010 to develop a rock quarry to extract quartz dolomite stone. The quarry is intended to operate under its present consent for a total of 15 years with a further 18 months for restoration works.
- 4.18 In December 2020 a draft decision notice (19/03702/EIA) was issued granting planning permission principally for an extension of the working area of the existing quarry, which would see the workings move further south into the hillside which constitutes the quartz dolerite deposit. The applicant estimates that the proposed extension area (and the stone remaining below the level of 180m AOD within the present extraction area) constitutes a reserve of approximately 8M tonnes (gross) and should allow for the continuation of extraction work for a total of 40 years. This would include the removal of woodland, soil stripping, rock extraction and site reinstatement. Final restoration and aftercare would continue for a further 24 months.

- 4.19 In terms of other new development on site, the application also sought planning permission for an Asphalt Plant and for the construction of a Bottom Ash Processing Plant within the quarry boundary. The asphalt plant would be used to produce asphalt for road surfacing by mixing premium quality stone extracted from Goathill Quarry with imported road planings from local projects (thus recycling aggregates), producing around 50,000 tonnes per annum. The Bottom Ash Processing Plant would take bottom ash - the end product of the incineration of materials in Energy from Waste (or EFW) facilities - and blend it with primary stone aggregate from Goathill Quarry, creating a blended secondary aggregate product (again, this represents the recycling of aggregates). The bottom ash for processing would be around 35,000 tonnes per annum, sourced from EFW plants in East Central Scotland.
- 4.20 This draft decision notice indicates a significant further investment within the existing Collier Quarrying and Recycling Ltd business, and evidence that there is growth not only in the business, but the sector as a whole. The demand rates for aggregates within Fife will grow at a rate of between 2.7% and 3.11% per year. This assumption assumes that exports from Fife are maintained at their current levels. Linking the forecast demand for aggregates with the present production levels of the operating quarries and utilising the dormant quarries to meet possible shortfalls in demand, it is possible to forecast a shortfall in the supply of aggregates for both export and home markets. From information within the quarrying industry the present production levels of the Fife quarries producing crushed rock in general are running at 80% of their maximum possible production. Taking the above information into consideration the quarries will not be able to meet demand.
- 4.21 The proposed quarry extension and the existing quarry extraction would continue to provide employment of 21 persons directly with indirect employment in the region of 20 persons. The quarry extension and operation and continuation of extraction within the existing void would comprise extraction, crushing, screening and loading. All office administration would continue to take place at the quarry. In addition, the ancillary developments operated within the quarry would provide indirect employment mainly in the haulage sector would continue to be provided. The period of proposed operations in the extension area and the lower level of the current extraction void would confirm full time employment for up to 40 years within this phase of operations.
- 4.22 The proposed development is to provide the applicant who is both the owner of the land and the sole director of the operating quarry and haulage business based on the wider quarry site with a permanent residence. This occupation is planned to be for the next 40 years during the working and restoration of the quarry, along with the above other enterprises which are either consented or in operation. Policy 8 is supportive of houses in the countryside where they are essential to support an existing rural business. The site has operated as a quarry since 2010 and has a further minded to grant planning permission for an additional 40 years beyond the original planning permission. There are also a number of expansion facilities proposed as noted above which is a significant investment by the applicant and in turn is growing the business operations on site.
- 4.23 There is a requirement for a permanent residence on the site by the applicant as he is required to be on site 24 hours a day, 7 days a week, 365 days a year. A permanent presence on the site ensures the security of the land and commercial operations, including the high capital machinery within the quarry, and an on-site presence to deal with unannounced visitors. There is also the issue around security of wetlands that will be created as part of the restoration of the quarry, with operational lagoons presently on site. The safety of all is paramount to the business and on site security will make breaking into the quarry site less attractive and ensure a high level of surveillance and safety outwith the core operational hours of the quarry. Once the lifetime of the quarry has been completed and restored, there is also a need of a permanent presence on site to manage the reinstated land (a Country Park) which would be accessible to the general public.
- 4.24 Although the initial planning permission for a 15-year period was temporary in nature, this will be superseded by the draft decision notice for the extension of the quarry and associated additional

operations within the quarry for a further 40 years. This can no longer be regarded as temporary in nature and this articulates a robust business case of the success of the quarry to date, and a significant investment to grow the business moving forward as described above.

- 4.25 There is no potential to utilise any existing buildings within the wider quarry area that could be used as living accommodation or the renovation of existing property. There is also no evidence of houses or plots having previously been sold off from the quarry holding to private buyers.
- 4.26 Policy 8 and its associated text very much relates to a standard rural business typology, which mineral extraction is not. Due to the nature of quarrying operations, the overall site changes dramatically over time, and phased, with the original scale and form being cut, then filled back and restored again.
- 4.27 The Town and Country Planning Act requires planning applications to be determined in accordance with the Development Plan unless material consideration indicate otherwise. The House of Lords in its judgement in the *City of Edinburgh v Secretary of State for Scotland* case 1998 (SLT120) ruled that *'although priority must be given to the Development Plan in determining a planning application, there is built in flexibility depending on the facts and circumstances of each case'*. This judgement, along with other such decisions like *Tesco Stores v Dundee* [2012] PTSR 983, strongly articulate that the Courts have confirmed that the Development Plan provides the planning authority with discretionary powers and these can be used flexibly. Planning policy is the starting point for the determination of a planning application and not an absolute. In this instance, the site specific nature and context of the locale and planning history of the site has to be assessed in detail as opposed to relying on a policy which covers a significant blanket area across the wider Fife area and does not take account of every eventuality.
- 4.28 The applicant is seeking planning permission for a single house within a much larger area that has been quarried for the last 12 years. Now at an advanced stage of the developments extant planning permission, and with a draft decision notice secured for land to the south as an extension to the quarry, there is a much clearer view of where a house could be positioned in the context of the restoration of quarried lands, and that of where the quarry is being extended to. In that context, a site selection report is less relevant to a proposal relating to a quarry than it would be a farm where a specific location would be regarded as better than another. With a quarrying location, a site selection process almost works in reverse as a site location will become clearer as the phasing of the mining is completed and areas of the quarry are restored back to their original state.
- 4.29 Figure 4 below shows an approved landscaping layout relating to an application for the erection of a temporary residential unit (13/03079/FULL) and articulates strong landscaping where lands were once quarried. The temporary accommodation relating to that application was located at the same location as this proposal and the applicant now wants to secure a permanent house on the site as temporary accommodation has been utilised in the past but is not viable as a longer term option now there is a draft planning permission in place to extend the operational life of the quarry for a further 40 years.



Figure 4: Approved landscape layout of application reference 13/03079/FULL

- 4.30 The site is also accessed by a road which has been constructed to a high standard giving separate access to the proposed site without conflict with heavy duty quarry machinery. The site is also located adjacent to a consented agricultural shed (13/02174/FULL) and can therefore utilise the infrastructure that was put in place when that was erected, which would be making best use of existing infrastructure on site.
- 4.31 The chosen site is not deemed to be isolated in location in the context of the business use it relates to. It has been strategically located in the context of existing infrastructure, a sufficient distance from the operational quarry where there is sufficient amenity levels and no conflict with quarry vehicles and machinery. It is also located beside a non-quarry related building, agricultural shed.
- 4.32 In terms of impact on the Local Landscape designation, the proposals form, scale, layout, detailing, siting, design, materials, and landscape treatment, is modest and reflects the rural setting. As the site is located within the Local Landscape Area, the applicants decided to keep the design and form simple. There is also additional planting already in place as part of the sites wider restoration as the lifespan of the quarry and will strengthen as time moves on to ensure medium and longer term views are mitigated and provide sufficient amenity at the immediate locale. This is further detailed in paragraphs 4.35 – 4.37.

POLICY 10 - AMENITY

- 4.33 This policy states that development will only be supported if it does not have a significant detrimental impact on the amenity of existing or proposed land uses. Development proposals must demonstrate that

they will not lead to a significant detrimental impact on amenity. The proposal will not have a detrimental impact on amenity.

- 4.34 The site is adjacent to an existing quarry and within the vicinity of the proposed quarry extension. Additionally, there are several wind turbines in the vicinity, with the closest turbine situated at the quarry having the same applicant as this proposal for a single residential dwelling. A Noise Report was submitted with a previous application (16/00319/FULL) for a single house at the same location and considered that the combined quarry and turbine noise satisfied the WHO guidelines that should not be exceeded to protect the majority of people from being seriously annoyed during daytime however a slight to moderate impact noise impact was indicated. The Council's Public & Environmental Protection team was consulted at the time and considered that the proposed dwelling was acceptable subject to a condition limiting residency of the dwelling to the owner or staff of the adjacent quarry. In this case, the applicant is the owner of the quarry and would again accept such a condition limiting occupancy. Therefore, it is considered that with an occupancy condition, if deemed to be required, the proposed dwelling would again be acceptable with regards to noise impacts and would not prejudice the operation of the adjacent quarry.

POLICY 13 – NATURAL ENVIRONMENT AND ACCESS

- 4.35 This site lies with a Local Landscape Area where development proposals will only be supported where they protect or enhance natural heritage and access assets.
- 4.36 Whilst the proposal site sits within *'the countryside'* and *'Local Landscape Area'*, it sits within an existing operational quarry, with an extension to the quarry minded to grant to the south on land currently forested by the Forestry and Land Scotland. The immediate landscape of the general location is dominated by the significant industrial presence of the Mossmorran Petrochemical Complex to the northeast and the 9 large wind turbines immediately beyond, which is between the Mossmorran plant and the A92 Dunfermline to Kirkcaldy due carriageway. There are another three large wind turbines immediately adjacent to the quarry itself; two in the field north of the quarry entrance and one in a field to the west of the quarry across the A909 Cowdenbeath to Burntisland road. The quarry itself also has a large turbine within its boundary which provides power for the quarry. In that regard, the general locale very much has an industrial feel to its built form within a countryside location.
- 4.37 Notwithstanding the immediate context, the proposed new dwelling is of a scale and nature that is in keeping with the surrounding uses and form. Due to the nature of quarrying operations, the overall site changes dramatically over time, with the original scale and form being cut, then filled back and restored again. While the proposed site is currently cleared, the reinstatement of the adjacent land has already commenced as shown in Figure 3 and will in the fullness of time be set within a much wider landscape setting. This would substantially limit views from the B925, whilst views from public areas are distant and the surrounding area includes a number of wind turbines, the Mossmorran Ethylene Plant and Poultry units. In the short to medium term the proposal would also be adjacent to a working quarry allowing time for surrounding planting to provide additional screening. It is therefore considered that given the simple modern design, the agricultural context close to the existing agricultural shed, the local area context and the screening limiting any nearby views, the proposal would have no significant negative impact on the local landscape area and the design would be acceptable with regards visual amenity and landscape impact.

5 MATERIAL CONSIDERATIONS

- 5.1 In addition to the relevant strategy and policies of FIFEplan, there are several other material considerations that support the proposals. These include Scottish Planning Policy; other guidance and advice set out in relevant Supplementary Planning Guidance prepared by Fife Council. Each of these matters are outlined below. The planning history of the site equally has importance as being a quarry, its phases and controls the progress of working the hillside.

NATIONAL PLANNING FRAMEWORK (2014)

- 5.2 Scotland's third National Planning Framework states that our environment is more than a recreational resource and that Scotland needs minerals as construction materials to support our ambition for diversification of the energy mix.

SCOTTISH PLANNING POLICY (2014)

- 5.3 The SPP confirms that the Scottish Government's central purpose is to focus on creating a more successful country, with opportunities for all of Scotland to flourish, through increasing sustainable economic growth (at paragraphs 1 and 24). Sustainable economic growth is defined as: *"Building a dynamic and growing economy that will provide prosperity and opportunities for all, while ensuring that future generations can enjoy a better quality of life too"*.
- 5.4 Paragraph 2 states that planning should take a positive approach to enabling high-quality development and making efficient use of land to deliver long-term benefits for the public while protecting and enhancing natural and cultural resources.
- 5.5 With regard to Rural Development, SPP at Paragraph 75 encourages rural development *"that supports prosperous and sustainable communities and businesses whilst protecting and enhancing environmental quality."* The applicants have demonstrated that their rural business continues to grow, the family members involved need a place to live and retain employment in the sector and the quarry is suitable location to house the applicant.
- 5.6 With regard to siting and design in local landscapes, SPP paragraph 202 states *"The siting and design of development should take account of local landscape character"*. The applicants have demonstrated an understanding and awareness of the local landscape character is assessing the suitability of the site for the new dwelling. They have shown that the local landscape will not be eroded by the choice of site location.
- 5.7 Paragraph 235 (Policy Principles) of SPP indicates that 'the planning system should: *'...safeguard workable (minerals) resources and ensure that an adequate and steady supply is available to meet the needs of the construction, energy and other sectors; minimise the impacts of extraction on local communities, the environment and the built and natural heritage; and secure the sustainable restoration of sites to beneficial after-use after working has ceased'*.
- 5.8 As has been demonstrated in Section 3 and 4, this is a proposal that accords with up-to-date plans. The application should be considered acceptable in principle and, as SPP directs, consideration should focus on the detailed matters arising (Paragraph 32). SPP requires the planning authority to presume in favour of development that contributes to sustainable development (paragraph 33). The applicant's case for sustainable development is twofold: 1) It is proposing a land use which is compatible with the existing business and justifies its need. 2) It is proposing a simple building form which matches existing buildings in the rural location and does not require new infrastructure and will operate as a worker dwelling.

5.9 The proposals are therefore consistent with the relevant aspects of SPP.

PLANNING ADVICE NOTE (PAN) 64: RECLAMATION OF SURFACE MINERAL WORKINGS

5.10 PAN 64 states that improvements over recent years in reclamation techniques has now made it possible for minerals operators to reclaim mineral extraction sites to a very high standard. Accordingly, PAN64 requires that Planning Authorities ensure that mineral operators treat reclamation of sites as an integral part of the overall planning process to be addressed comprehensively through an Environmental Impact Assessment or application. To that end, the long-term restoration of the site encompassed within the overall planning history of the quarry demonstrates willingness on the applicant's part to restore this site correctly, which has already been put into action.

MAKING FIFE'S PLACES SUPPLEMENTARY GUIDANCE (AUGUST 2018)

5.11 Making Fife's Places Supplementary Guidance sets out Fife Council's expectations for the design of development in Fife. It advises about good design and how this should relate to its context. It requires new developments to be '*distinctive*' and have regard for the particular characteristics of the area. The guidance sets out how to apply the six qualities of successful places. Within the Planning Policy appraisal section (Section 4 of this Statement), we have referred to the methodology set out in Making Fife's Places to assess the wider landscape setting of the site, assess its relationship with the wider land use context and surroundings.

5.12 The Guidance also asks applicants to express how the '*quality*' of the development will be met in the Making Fife's Places guidance, taking each quality in turn our response is below.

5.13 The proposal is **Distinctive** because it features the use of landform to fit the house into the landscape, the siting it capable of absorbing the new dwelling into the landscape.

5.14 The proposal is **Safe and Pleasant**, because it meets the applicant's brief to offer a family home but remain within the operational quarry and it is secure and safe for living adjacent to a quarry in a rural setting.

5.15 The proposal is **Adaptable** as its design, whilst simple can fit with the wider surrounding dwellings and their character and form.

5.16 The proposal is **Welcoming**, as the use and its setting will provide an attractive place for the applicant's family of the quarry business to relax and make a home. Some new planting, or boundary definition of the external space is necessary which can be managed via planning conditions.

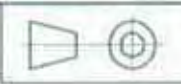
5.17 The proposal is **Energy Efficient** as it is positioned on the south facing slope able to capture natural daylight and its orientation and layout of build means the natural heating and insulating will make a significant contribution to energy efficiency of the building itself.

6 CONCLUSIONS

- 6.1 We have demonstrated in this Supporting Statement, along with the accompanying plans, that the proposed single dwelling use can be supported.
- 6.2 This is because the principle of the development is acceptable as the proposal meets relevant FIFE plan policy. Specifically, the proposal meets planning policy relating to infrastructure (Policy 3), Amenity (Policy 10) and will not harm the designated Local Landscape Area setting (Policy 13). This is because the proposed dwelling is small, positioned in a carefully selected location, making best use of existing infrastructure and land.
- 6.3 The proposal meets Policy 7 (Development in the Countryside), as the dwelling is an essential component of the existing growing business with a proven need to be located within the countryside, as well as being a house in line with the requirements of Policy 8. This is evidenced in full within this Planning Statement.
- 6.4 The dwelling is to provide the applicant who is both the owner of the land and the sole director of the operating quarry and haulage business based on the wider quarry site with a permanent residence. Policy 8 is supportive of houses in the countryside where they are essential to support an existing rural business. The site has operated as a quarry since 2010 and has a further minded to grant planning permission for an additional 40 years beyond the original planning permission. There are also a number of expansion facilities proposed as noted above which is a significant investment by the applicant and in turn is growing the business operations on site.
- 6.5 There is a requirement for a permanent residence on the site by the applicant as he is required to be on site 24 hours a day, 7 days a week, 365 days a year. A permanent presence on the site ensures the security of the land and commercial operations, including the high capital machinery within the quarry, and an on-site presence to deal with unannounced visitors. There is also the issue around security of wetlands that will be created as part of the restoration of the quarry, with operational lagoons presently on site. The safety of all is paramount to the business and on site security will make breaking into the quarry site less attractive and ensure a high level of surveillance and safety outwith the core operational hours of the quarry. Once the lifetime of the quarry has been completed and restored, there is also a need of a permanent presence on site to manage the reinstated land (a Country Park) which would be accessible to the general public.
- 6.6 The applicant is seeking planning permission for a single house within a much larger area that has been quarried for the last 12 years. Now at an advanced stage of the developments extant planning permission, and with a draft decision notice secured for land to the south as an extension to the quarry, there is a much clearer view of where a house could be positioned in the context of the restoration of quarried lands, and that of where the quarry is being extended to. In that context, a site selection report is less relevant to a proposal relating to a quarry than it would be a farm where a specific location would be regarded as better than another. With a quarrying location, a site selection process almost works in reverse as a site location will become clearer as the phasing of the mining is completed and areas of the quarry are restored back to their original state,
- 6.7 Notwithstanding the immediate context, the proposed new dwelling is of a scale and nature that is in keeping with the surrounding uses and form. Due to the nature of quarrying operations, the overall site changes dramatically over time, with the original scale and form being cut, then filled back and restored again. While the proposed site is currently cleared, the reinstatement of the adjacent land has already commenced as shown in Figure 3 and will in the fullness of time be set within a much wider landscape setting. This would substantially limit views from the B925, whilst views from public areas are distant and the surrounding area includes a number of wind turbines, the Mossmorran Ethylene plant and Poultry units. In the short to medium term the proposal would also be adjacent to a working quarry allowing

time for surrounding planting to provide additional screening. It is therefore considered that given the simple modern design the agricultural context close to the existing agricultural shed and the local area context and the screening limiting any nearby views, the proposal would have no significant negative impact on the local landscape area and the design would be acceptable with regards visual amenity and landscape impact.

- 6.8 The proposal meets other material considerations including Scottish Planning Policy and Fife Council's supplementary planning guidance Making Fife's Places. The planning history demonstrates that the proposal fits with the growth of the business over the next 40 years.
- 6.9 Through our Planning Statement and the supporting documentation, we have demonstrated that there are no adverse impacts that outweigh the scheme's benefits and respectfully request that planning permission be granted.



A3

20 0 20 40 60 80 100
Metres



Amenity Bank Planting

Stabilised Area
(soil planting)

Marsh Area - allowed to develop from R.O.S feature

Quarry Floor
- fill with plantbed / subsoil
- 150mm gravel
- seeded with upland grazing mix

Quarry Walls
- graded
- ledges capped
- subsoil / topsoil trickled down slope
- hydroseeded with grass/whinflower mix
- plants planted with scrub trees

Rev.	Description
	AMS Associates 38 Whytbank Row, Clovenfords TD1 3NE Ph: 01896 850520 Mob: 07910 917101

Malcolm Cattermole
9 Montgomery Sq, Innerleithen, EH44 6LE
Ph: 01896 831 825 Mob: 07951 259 286

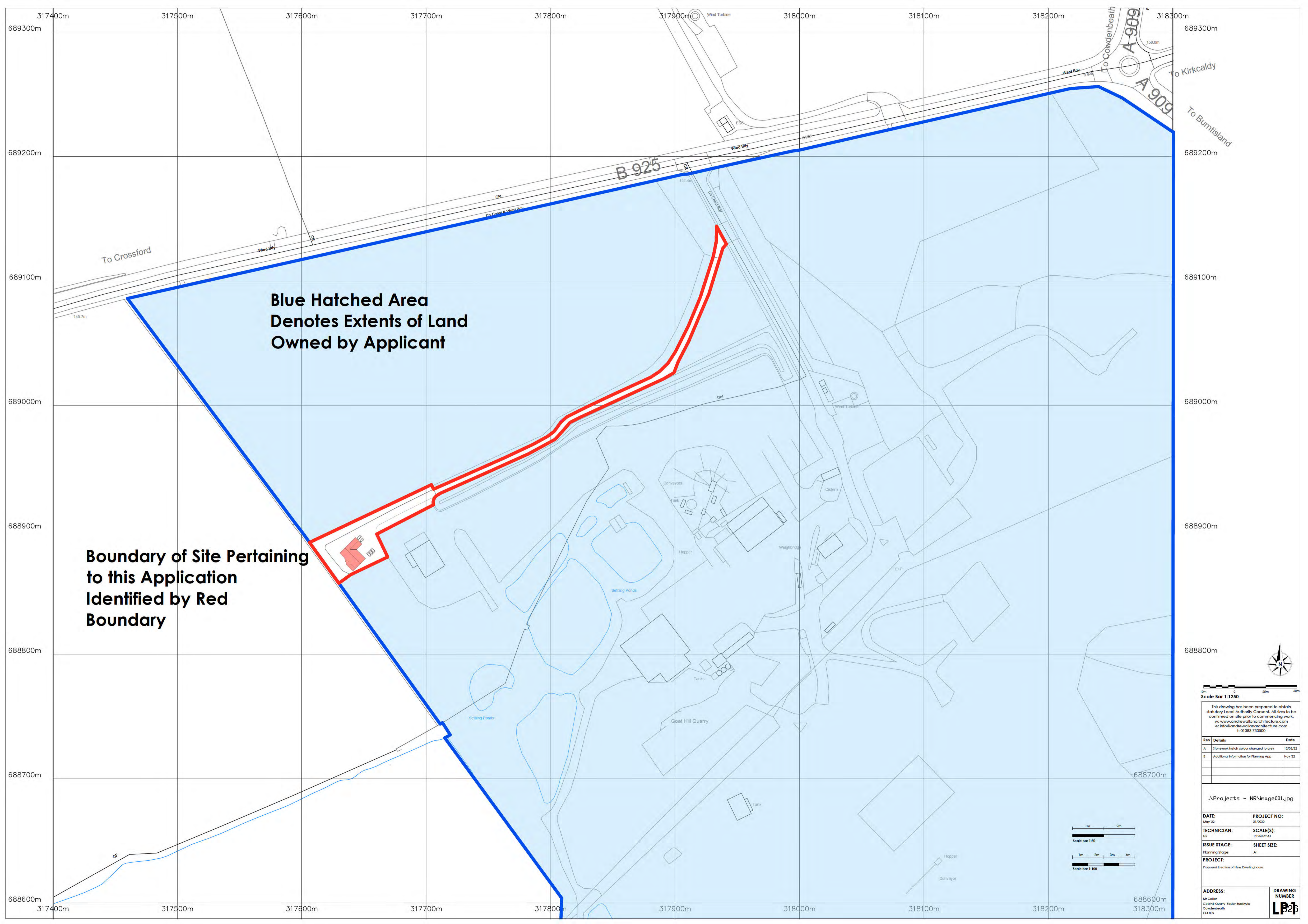
The Collier Group
Overall Indicative Restoration Plan

DRAWN BY Cattermole	DATE 10/12/2007
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The details are not to be regarded as final until the completion of the project.

SCALE 1:2500	Dwg No. 25/2
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DEVELOPMENT SERVICES
TOWN & COUNTRY PLANNING / SCOTLAND ACT 1997
PLANS RECEIVED 18 DEC 2007
07 / 04033 / WFULL
APPLICATION No.



**Blue Hatched Area
Denotes Extents of Land
Owned by Applicant**

**Boundary of Site Pertaining
to this Application
Identified by Red
Boundary**



Scale Bar 1:1250
This drawing has been prepared to obtain statutory Local Authority Consent. All sizes to be confirmed on site prior to commencing work.
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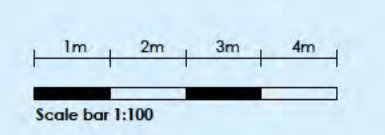
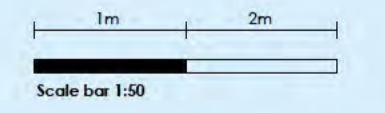
Rev	Details	Date
A	Stonework hatch colour changed to grey	12/05/22
B	Additional information for Planning App	Nov '22

..\\Projects - NR\\Image001.jpg

DATE: May '22	PROJECT NO.: 21/0030
TECHNICIAN: NR	SCALE(S): 1:1250 of A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1
PROJECT: Proposed Erection of New Dwellinghouse.	

ADDRESS:
Coat Hill Quarry, Easter Bucklyvie,
Cowdenbeath,
Fife KY4 8ES

DRAWING NUMBER
LP25





Boundary of Site Pertaining to this Application Identified by Red Boundary

Proposed Site Boundary

Proposed Site Boundary

Proposed Site Boundary

Proposed Site Boundary

Blue Hatched Area Denotes Extents of Land Owned by Applicant

Existing Concrete Access Road



Scale Bar 1:500

Rev	Details	Date
A	Additional Information for Planning App	Nov '22

..\Projects - NR\image001.jpg

DATE: May '22	PROJECT NO: 21/0030
TECHNICIAN: NR	SCALE(S): 1:500 at A3
ISSUE STAGE: Planning Stage	SHEET SIZE: A3

PROJECT:
Proposed Erection of New Dwelling

ADDRESS: Mr Collier Goathill Quarry Easter Buckleyvie Cowdenbeath KY4 8ES	DRAWING NUMBER SP21
--	--------------------------------------

Location Plan
Scale 1:500

This drawing has been prepared to obtain statutory Local Authority Consent. All sizes to be confirmed on site prior to commencing work.
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**Blue Hatched Area
Denotes Extents of Land
Owned by Applicant**

**Boundary of Site Pertaining
to this Application
Identified by Red
Boundary**

Scale Bar 1:1250

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Rev	Details	Date
A	Stonework hatch colour changed to grey	12/05/22

**andrew allan
architecture** limited

DATE: May '22	PROJECT NO: 21/0030
TECHNICIAN: NR	SCALE(S): 1:1250 of A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1
PROJECT: Proposed Erection of New Dwellinghouse.	

ADDRESS:
Mr Collier
Goat Hill Quarry, Easter Bucklyvie
Cowdenbeath
F14 8ES

DRAWING NUMBER
LP23

Scale bar 1:50

Scale bar 1:100

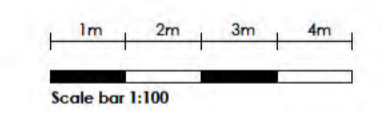




LEGEND

- Railway Line
- C/L of Ditch
- Bottom of Slope
- Top of Slope
- Change of Surface
- Kerelme (Channel Level)
- Edge of Track
- D/H Tele. Lines
- D/H Elec. Lines
- Fenceline Screen/Security
- Fenceline Post & Rail
- Fenceline Post & Wire
- Retaining Wall
- Wall
- Building
- Building Open / Canopy
- Minor Building
- Foundations / Ruins
- Individual Trees
- Deciduous tree
- Coniferous tree
- Bush/Shrub
- Tree Skimp
- Marsh Area
- Rock Outcrop
- Edge of Grass
- Hedgerow
- Tree Canopy
- W Water Tolly
- sp Sign Post
- B Ballard
- IC Inspection Cover
- EB Electricity Box
- FH Fire Hydrant
- CS Control Station
- △ Stn
- GF Gully
- EP Electricity Pole
- TP Telegraph Pole
- SL Spot Level
- RE Roading Eye
- WM Water Meter
- TM Telecom Nodule
- LP Lamp Post
- GV Gas Valve
- MH Manhole Round
- △ MH Manhole Triangle
- MH Manhole Square
- IC Disconnector Manhole
- VP Vent Pipe
- TVM TV Security Mast
- GM Gas Meter
- MP Marker Post
- SV Scaver Valve
- PB Post Box
- BH Bonehole
- TP Tripole
- CTV Cable TV
- CTB Cable TV Box

Proposed Site Topographical Plan
Scale: 1:100



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Rev	Details	Date

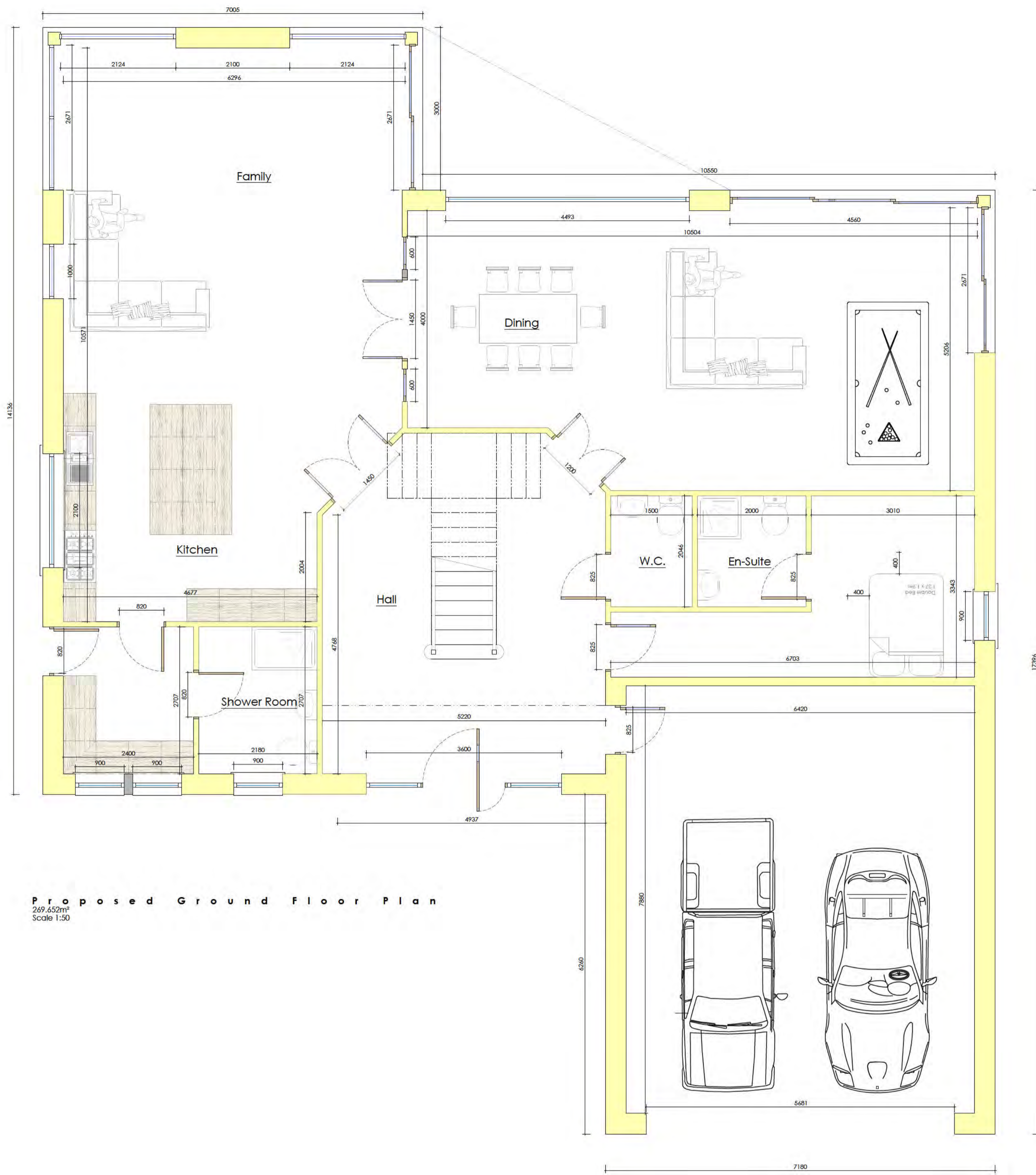
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TECHNICIAN: NR	SCALE(S): 1:100 at A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1

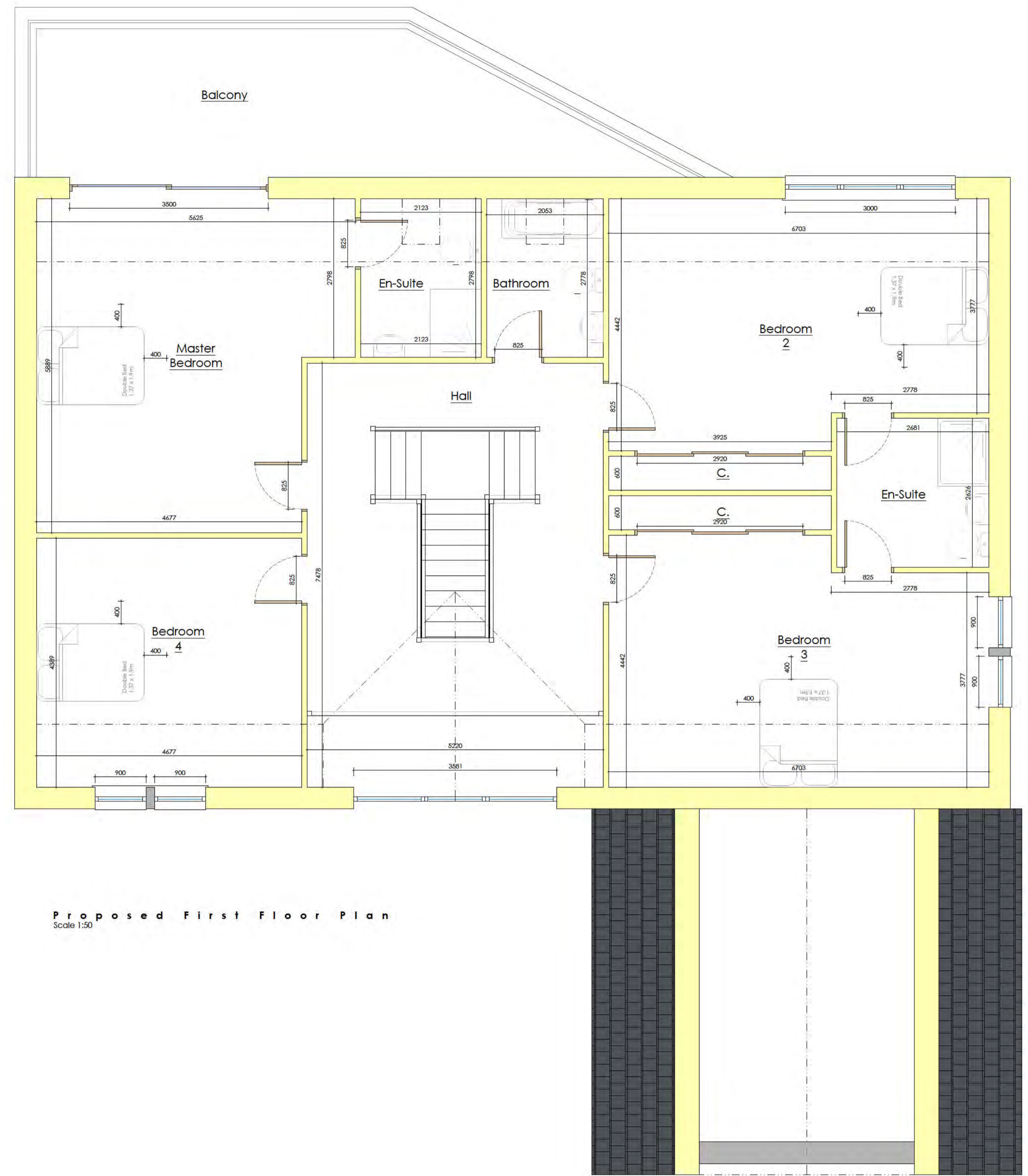
PROJECT:
Proposed Erection of New Dwellinghouse.

ADDRESS:
Mr Collier
Coedall Quarry, Easter Buckley
Coedall Heath
KT14 8ES

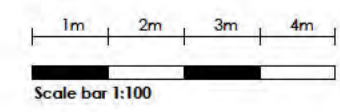
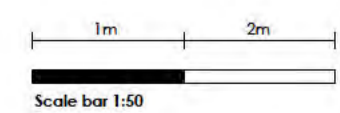
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329



Proposed Ground Floor Plan
269.652m²
Scale 1:50



Proposed First Floor Plan
Scale 1:50



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Rev	Details	Date
A	Stonework hatch colour changed to grey	12/05/22

..\\Projects - NR\\Image001.jpg

DATE: May '22	PROJECT NO: 21/0000
TECHNICIAN: NR	SCALE(S): As Noted at A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1

PROJECT:
Proposed Erection of New Dwellinghouse.

ADDRESS:
Mr Collier
Coombe Quarry, Easter Buckley
Co. Wick, Wick
K14 8E3

DRAWING NUMBER

130



Proposed Front Elevation
Scale 1:100



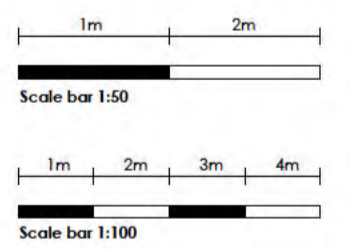
Proposed Side Elevation
Scale 1:100



Proposed Rear Elevation (Option 5)
Scale 1:100



Proposed Side Elevation
Scale 1:100



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DATE: May '22	PROJECT NO.: 21/0030
TECHNICIAN: NR	SCALE(S): As Noted at A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1

PROJECT:
Proposed Erection of New Dwellinghouse.

ADDRESS:
Mr Collier
Coomhill Quarry, Easter Bucklyvie
Crosdenbreath
KY4 8ES

DRAWING NUMBER
231

BioDisc®

WASTEWATER SOLUTIONS

PREMIUM SEWAGE TREATMENT PLANT
FROM THE MARKET LEADERS IN WASTE





60 YEARS OF EXPERTISE

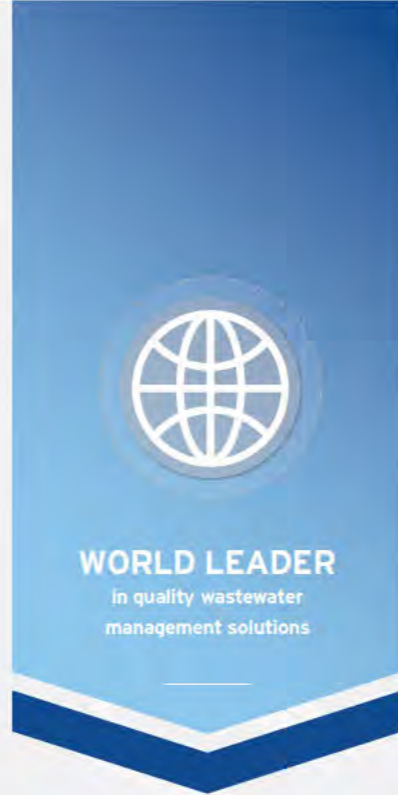
Kingspan Klargester

For over 60 years, Kingspan Klargester has designed and manufactured innovative ways to treat, pump, separate and recycle wastewater. We pioneered the world's first GRP septic tank and the patented RBC (Rotational Biological Contactor) BioDisc® wastewater treatment system - leading change in our sector and setting industry standards around the world.

As established global market leaders, we offer a diverse range of innovative and 100% compliant wastewater treatment solutions for domestic, commercial and industrial applications. We give you relevant advice and support throughout the wastewater treatment purchasing process based on our in-depth local knowledge and expertise.



85
COUNTRIES
WORLDWIDE



The Wastewater Management Experts

Kingspan Klargester are the wastewater management experts with over 60 years of innovation and knowledge. Our mission is to design and manufacture premium tried and tested wastewater management solutions on a global scale whilst offering one of the largest and most technologically advanced wastewater ranges available.

Operating in 85 countries worldwide, we offer a global distribution network backed by experienced sales and technical teams. Our support teams provide focused customer service from delivery scheduling to consultancy and installation guidance. We give you the confidence of support over the lifetime of the product and beyond.

BioDisc®



Kingspan Klargester BioDisc® wastewater treatment plant

Our Kingspan Klargester BioDisc® sewage treatment range benefits from a wealth of industry experience and knowledge that allowed us to bring to market the first Rotational Biological Contactor treatment system over 40 years ago.

The patented BioDisc® is engineered to treat wastewater to the highest level of standards. In terms of ongoing service and maintenance, it offers one of the best returns on investment compared to other treatment processes. Each BioDisc® is designed to ensure 100% compliance with industry requirements, including national and international regulations such as BS EN12256.

The aim of BioDisc® is simple - quality product and quality customer service for total peace of mind.



EXPERTISE

With over 60 years' experience delivering high performance and reliable wastewater treatment systems worldwide, you can trust Kingspan Klargester.

PREMIUM

BioDisc® is one of the only premium sewage treatment systems in the world to use the patented Rotating Biological Contactor technology. This ensures continued high performance and hassle-free sewage treatment.

SERVICE

We pride ourselves on a quality customer experience from comprehensive on-site assessments to professional installation options and expert after sales care.



REQUEST
A FREE SITE
VISIT FROM OUR
EXPERT TEAM.

klargester@kingspan.com
01 296 633 000

BioDisc®

PROTECTING YOUR HOME AND THE ENVIRONMENT

ULTIMATE RELIABILITY

GUARANTEEING LONG TERM PERFORMANCE

4 EASY STEPS TO THE PERFECT WASTEWATER TREATMENT SOLUTION



Step 1
Contact us and we'll arrange for a local Kingspan Klargester expert to visit your home for a full site assessment, should you need it.



Step 2
Our professional team will work with you to help choose the correct BioDisc® model.



Step 3
A Kingspan professional can be arranged to commission and activate your tank.



Step 4
We offer tailored service and maintenance packages for your BioDisc® treatment plant.



KINGSPAN KLARGESTER
BUILT ON LEADERSHIP

KEY BENEFITS



In an increasingly regulated world with new Environment Agency and SEPA standards, it's more important than ever to choose a sewage treatment plant that delivers peace of mind by guaranteeing safe and reliable treatment of wastewater.

BioDisc® from Kingspan Klargester is built on the back of 60 years' experience and offers the following benefits:

LOW RUNNING COSTS

The robust patented design of the BioDisc® treatment plant offers complete peace of mind. With low running costs and minimal servicing and maintenance required, the BioDisc® is a high-quality lifetime investment that helps safeguard the health of you and your family.



FULLY COMPLIANT SOLUTION

BioDisc® is tested and certified to European standard EN 12566, the European standard for small treatment plants and was awarded its Performance Certificate by delivering high levels of pollution removal (up to 97.5%). As a homeowner you can rest assured that the BioDisc® will operate optimally at all times, saving you time, money and hassle.



EXPERTISE AND KNOWLEDGE

BioDisc® is backed by 60 years' of expertise and technical knowledge. Our expert team is on hand to guide you on the best choice of sewage treatment system for your home.

60

*Subject to stock levels and other conditions. Free delivery from our distribution hubs.

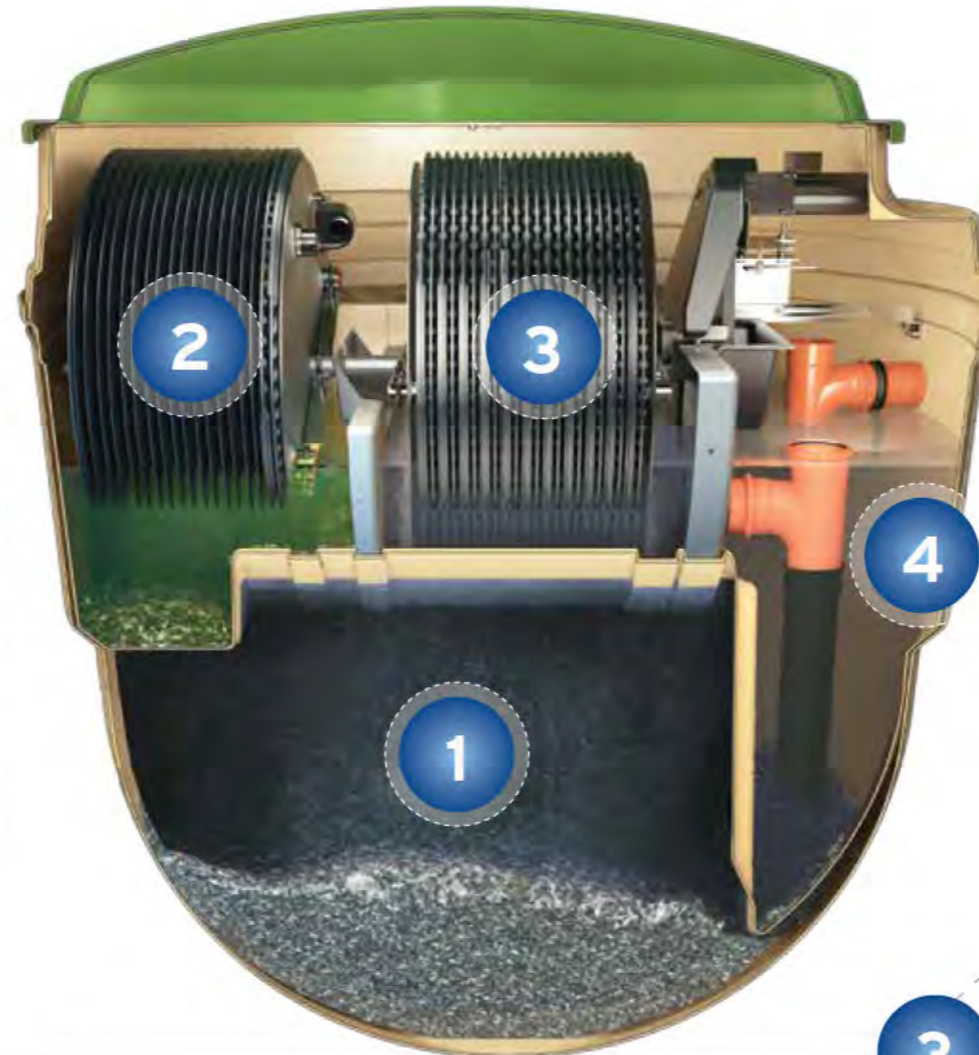


BioDisc® HOW IT WORKS

The Rotational Biological Contactor (RBC) is central to the operation of each Kingspan Klargester BioDisc®. It supports a biologically active film or biomass onto which aerobic micro-organisms, naturally found in sewage, become established. Natural breakdown of sewage can then occur as described below.

UNIT SIZE	SINGLE HOUSE		MULTIPLE HOUSES	
	BA	BA-X	BB	BC
Population Equivalent	1 House up to 4 bedrooms	1 House up to 7 bedrooms	2 House up to 8 bedrooms	3 House up to 12 bedrooms
Overall diameter / Width (mm)	1995	1995	1995	2450
Standard drain inlet (mm)	750*	750*	750*	600†
Standard outlet (mm)	835	835	835	685
Depth from invert to base (mm)	1400	1400	1400	1820
Pipework Diameter (mm)	110	110	110	110
Sludge storage period (Approx)	12 Months	9 Months	6 Months	7 Months
Standard power supply	Single Phase	Single Phase	Single Phase	Single Phase
Motor rating	50W	50W	50W	75W
Weight (tonnes) standard units	0.388	0.418	0.418	0.650

* BA-BB 450/1250 † BC 11000



ROTATING BIOLOGICAL CONTACTOR (RBC)

The RBC comprises banks of vacuum formed polypropylene media supported by a steel shaft. This is slowly rotated by a low energy consumption electric motor and drive assembly.

BioDisc® from Kingspan Klargester

For further technical information and videos on the BioDisc® treatment plant visit our website at kingspanklargester.com



1 PRIMARY SETTLEMENT TANK
Wastewater and sewage flows into the primary settlement tank where the large solids are retained for future removal.



2 FIRST STAGE BIOLOGICAL TREATMENT
The liquor and fine solids then flow into the Biological Treatment Zone 1 where the first stage of treatment occurs.



3 SECOND STAGE BIOLOGICAL TREATMENT
The liquor is then fed forward at a controlled rate into Biological Treatment Zone 2 for further cleaning.



4 FINAL SETTLEMENT TANK
The clean liquid passes into the final settlement tank where it can be discharged to ground or water course.



BioDisc®

CHOOSING THE CORRECT SEWAGE TREATMENT PLANT FOR YOUR HOME

At Kingspan Klargester we offer a full range of options and professional insight to help you choose the perfect sewage treatment plant for your home.

All our robust BioDisc® models cater for properties housing between 4-16 people. The premium BioDisc® sewage treatment system is available in four sizes for all types of domestic applications.

For single house applications we offer the BA and BAX models and, for multiple homes, the Kingspan Klargester BB and BC BioDisc® models are ideal.

Because various inlet and outlet options are available, we carry out a free comprehensive site assessment to ensure the correct system model and size for your home.



WHAT DETERMINES MY CHOICE OF SEWAGE TREATMENT PLANT?

The BioDisc® is technically engineered with high performance and quality in mind. Each component of the BioDisc® has been manufactured and chosen with care, to ensure continuous operation of a tried and tested wastewater treatment process.

What else do I need to consider when choosing my sewage treatment plant?

- ✓ • **The size of treatment plant needed**
We'll take you through the best practice guidelines from British Water's 'Flows and Loads' sizing criteria to help you make the correct choice.
- ✓ • **Ground conditions around the plant**
We'll establish whether it's a wet or dry site to determine the choice of backfill used on the tank.
- ✓ • **Wastewater discharge options**
With the new Environmental Agency regulations for domestic plants, it's now more important than ever to take responsibility for wastewater discharges.
- ✓ • **Ground conditions around the plant**
Kingspan Klargester offer a range of drain invert level options to match your site conditions.



BioDisc® from Kingspan Klargester

For further technical information and videos on the BioDisc® treatment plant visit our website at kingspanklargester.com



REED BEDS

Klargester BioDisc® treatment plants use a reed bed filtration process to further enhance the quality of the effluent migrating into drainage fields or a surrounding watercourse.

DESIGN
Advanced Patented design delivers superior performance
Pre-fabricated to ensure correct sizing
Modules designed with a hydraulic gradient across the length of the units
Performance tested in Germany to EN12566-3 in combination with a Part 3 plant
Modular system comprising of: <ul style="list-style-type: none"> • Two individual reed beds = single house application • Four individual reed beds = two house application
Adjustable outlet weir allows water level control
One piece GRP moulding installed flush to the ground
Reeds and GRP beds supplied. Washed pea gravel, 'growing' media by others (not included)
Effluent discharge is typically improved by at least 50%, providing reduced BOD and suspended solids
Provides rooting zone depth of 600mm (required by Phragmites Australis)



Benefits

- › Tertiary treatment for new applications with tight discharge consents
- › Satisfies new building regulations
- › Improved effluent quality for existing works
- › Very low maintenance
- › Aesthetically pleasing and environmentally friendly
- › Easy to install and maintain

CUSTOMER SUPPORT

We stand by the quality and performance of Kingspan Klargester products and our support doesn't stop once your tank is installed. We're on standby 24/7 with guidance on servicing and maintenance and offer tailored warranty options. Our trained professional support team is only a phone call away.

Peace of mind with extended warranty options

We offer an extended and tailored warranty or bond on your sewage treatment plant to suit your needs and budget. This cost effective package offers the benefits of scheduled maintenance inspections to ensure your system performs at optimum levels at all times.

Customer support when you need it

Our friendly local customer service team are on hand with professional advice. We operate a dedicated helpline on 01296 633 000 and a support email address for customers on klargesterkingspan.com

WE OFFER A FULL
2 YEAR GUARANTEE*
ON OUR DOMESTIC BioDisc®
TREATMENT PLANT.

* One year guarantee offered as standard on the domestic BioDisc model

Register for your extended two year guarantee at:
kingspanenviro.com/guarantee

Service and maintenance

We recommend that you service your BioDisc sewage treatment plant once a year. Under new Environment Agency regulations, it's now your responsibility to ensure smooth running of your plant. Our in house Service department offer a range of service packages including Gold, Silver and Bronze to cater for all homeowners' needs. To find out more about how you could benefit from a tailored service package from



Contact your expert local Kingspan Klargester team today

Our experienced local Kingspan Klargester product experts are on hand with professional advice on all aspects of your sewage treatment system, including sizing and installation.

Book your no obligations site assessment from the global experts in wastewater treatment, Kingspan Klargester. Contact us today on +44 (0) 1296 633 000. You can also book your visit online at Kingspanklargesterkingspan.com

BioDisc®



UK

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Neu-Isenburg, Deutschland
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W: www.kingspanklargesterkingspan.com/se



Disclaimer: We take every care and precaution to ensure that information in this document is accurate at the point of publish but with continuous product development the details given in this document are subject to alteration without notice.

Kingspan Klargester - BioDisc Domestic Brochure - English- Feb 2016

PERFORMANCE RESULTS

Kingspan Environmental Ltd.
College Road North, HP22 5EW, Aylesbury
United Kingdom

EN 12566-3
"Small wastewater treatment system for up to 50 PT"

Small wastewater treatment system BioDisc®
Rotating biological contractor

Nominal organic daily load	0.29	kg BOD ₅ /d	
Nominal hydraulic daily load	1.2	m ³ /d	
Material	glass	reinforced plastic (GRP)	
Watertightness (water test)	pass		
Crushing resistance (vertical load test)	pass	(also wet conditions)	
Treatment efficiency (nominal sequences)		Efficiency	Effluent
	COD	89.4 %	59 mg/l
	BOD ₅	95.7 %	10 mg/l
	NH ₄ -N	88.6 %	3.8 mg/l
	SS	94.8 %	15 mg/l
Electrical consumption	1.3	kWh/d	

Performance tested by:

PIA – Prüfinstitut für Abwassertechnik GmbH
(PIA GmbH)
Hergenrather Weg 30
D-52074 Aachen

Certified according to
ISO 9001:2008
Notified Body number: 1739

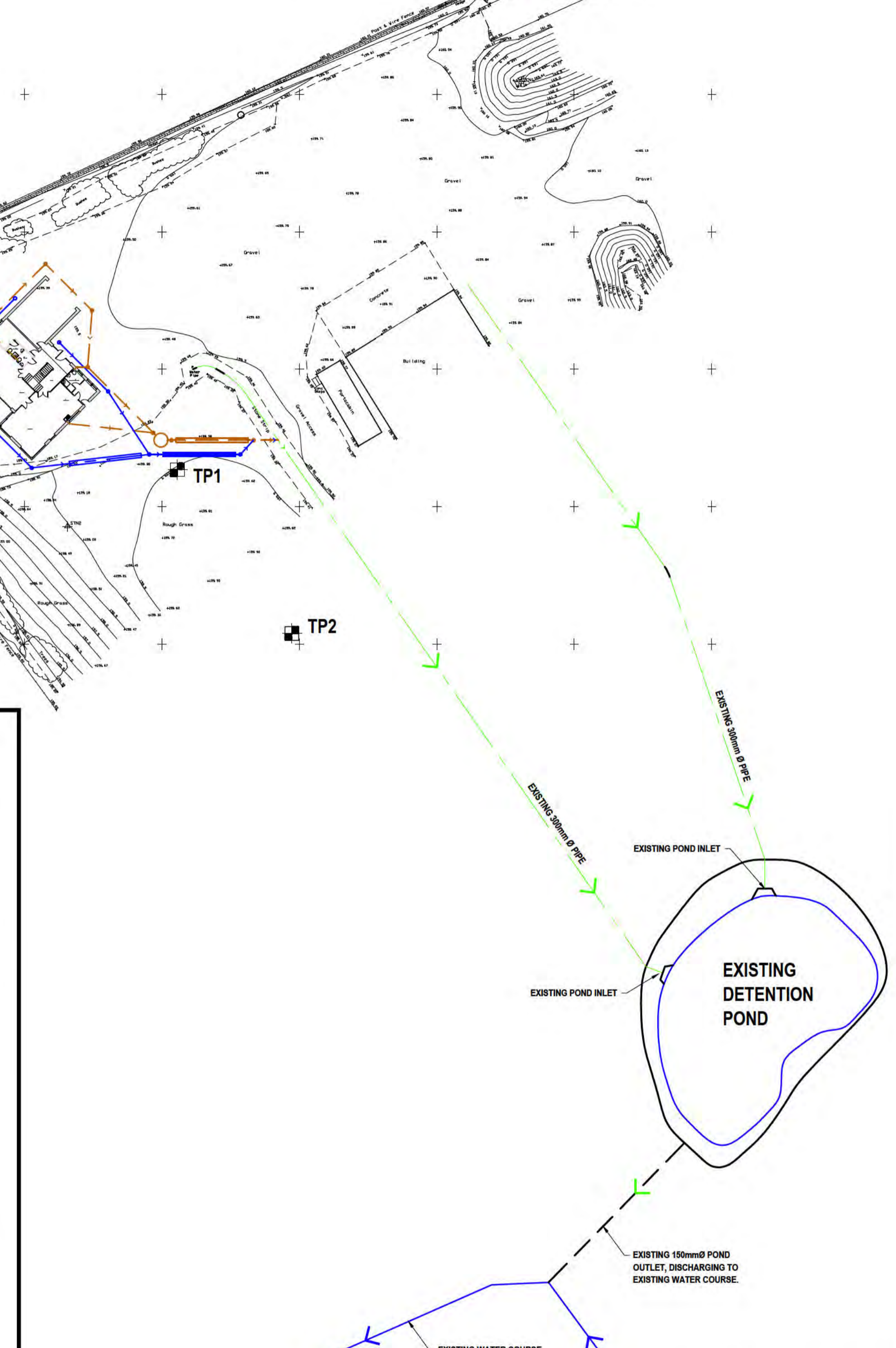
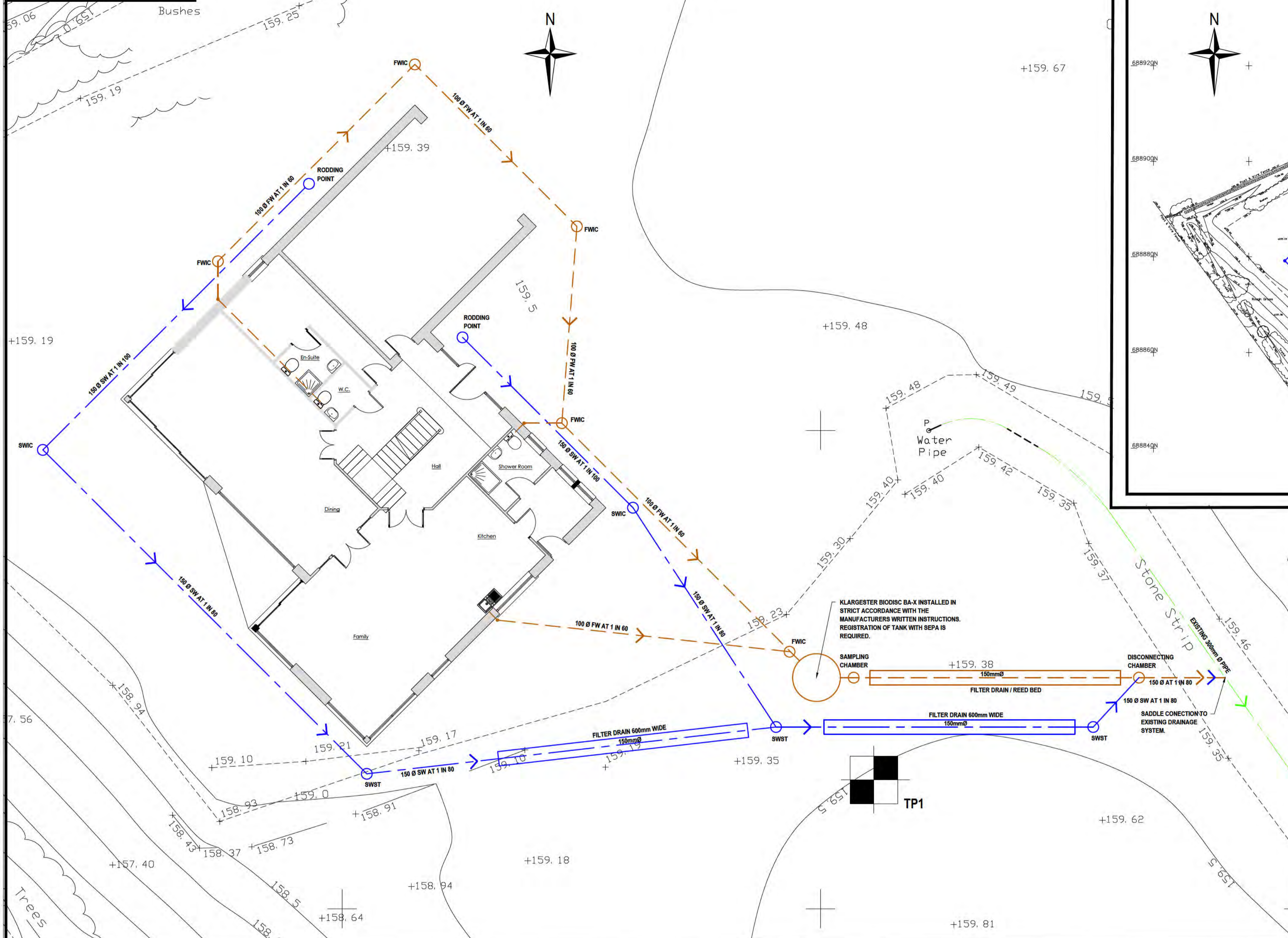


This document replaces neither the declaration
of conformity nor the CE marking.

Elmar Lancé

May 2013

CDM - RESIDUAL RISKS
 INDICATES KEY RESIDUAL HEALTH & SAFETY RISKS. REFER TO CDM TABLE ON DRAWING 2021-055-DXXX FOR FULL LIST OF RESIDUAL RISKS, HAZARDS AND NOTES



PLOT DRAINAGE LAYOUT (SCALE 1:100)



NOTES

FOR INFORMATION RELATING TO USE, CLEANING AND MAINTENANCE SEE THE HEALTH AND SAFETY FILE

IT IS ASSUMED THAT ALL WORKS WILL BE CARRIED OUT BY A COMPETENT CONTRACTOR WORKING, WHERE APPROPRIATE, TO AN APPROVED METHOD STATEMENT.

SAFETY HEALTH AND ENVIRONMENTAL INFORMATION

IN ADDITION TO THE HAZARD/RISKS NORMALLY ASSOCIATED WITH THE TYPES OF WORK DETAILED ON THIS DRAWING, NOTE THE FOLLOWING RISKS AND INFORMATION.

RISKS LISTED HERE ARE NOT EXHAUSTIVE. REFER TO DESIGN ASSESSMENT FORM.

CONSTRUCTION

- EXPOSURE TO UNRECORDED LIVE SERVICES.
- MACHINE LIFTING MAY STILL BE REQUIRED FOR PARTICULAR OPERATIONS, OPERATIONS SHOULD BE ASSURED PRIOR TO BEING CARRIED OUT TO PREVENT INJURY TO SITE WORKERS.
- INTERFACE AT NEW JUNCTION / FOOTWAY CROSSING

LEGEND	
EXISTING SURFACE WATER 300mm DIAMETER FILTER DRAIN	
EXISTING SURFACE WATER 150mm DIAMETER POND OVERFLOW	
SW SURFACE WATER SEWER	
FW FOUL WATER SEWER	
IC 450mm PVCu INSPECTION CHAMBER	
ST 450mm PVCu SILT TRAP	
TP1 TRIAL PIT COMPRISING 150mm TOPSOIL, 3350mm MADE GROUND, VIRGIN GROUND ENCOUNTERED AT 3500mm, STILL COHESIVE SILTY CLAY. NO GROUND WATER ENCOUNTERED.	
TP2 TRIAL PIT COMPRISING 150mm TOPSOIL, 4350mm MADE GROUND, TRIAL PIT ABANDONED AT 4500mm DUE TO LIMITS OF EXCAVATOR, VIRGIN GROUND NOT ENCOUNTERED. NO GROUND WATER ENCOUNTERED.	
ALL COVERS IN SOFT GROUND TO BE CLASS C250. ALL PIPE WORK TO BE PVCu.	
ALL COVERS IN TRAFFICKED AREAS TO BE D400. ALL PIPE WORK TO BE HDPE TWIN WALL.	

FOUL WATER TREATMENT POPULATION EQUIVALENT
1. CRITERIA AND TREATMENT CAPACITY IS IN ACCORDANCE WITH BRITISH WATER: FLOWS AND LOADS-4.
2. POPULATION EQUIVALENT (PE)
5 BEDROOM HOUSE = 7 PERSONS DOMESTIC

FOUL WATER TREATMENT PLANT

- Bioficient 6 to be installed in accordance with the manufacturers written instructions.
- Bioficient 6 to be used in accordance with manufacturers guidance.
- All drainage pipes must be installed in accordance with should be constructed and installed in accordance with the recommendations in BS EN 12056-1: 2000, BS EN752-3: 1997 (amendment 2), BS EN 752-4: 1998 and BS EN 1810: 1998.

Sewage Treatment Plant Loading							
Source of Waste	no of people	Flow litre per day		BOD grams per day		NH3	
		Flow per head	Total Flow	BOD per person	Total	NH3 per head	NH3 Total
Domestic	7	150 litres	1050 litres	60 grams	420 grams	8 grams	56 grams
Total Loads			1050 litres		420 grams		56 grams

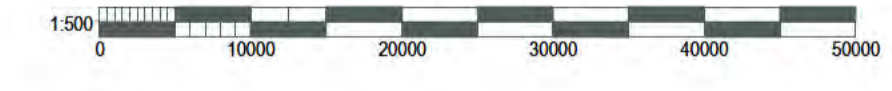
All of the above figures are in accordance with Flows & Loads - 4

In a domestic situation the flow per head is 150 litres per person per day therefore the proposed plant loading for the proposed building(s) equates to:
 The proposed total flow per day = 1050
 total flow per head in a domestic situation = 150 = 7P (persons domestic equivalent).
 Therefore a minimum of a 7 P person Bio Disc is required.
 Therefore a (9 persons) Klargester BIOFICIENT BA-X is suitable.

GENERAL SPECIFICATION NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DOCUMENTS, INCLUDING ALL ENGINEERING AND ARCHITECTURAL DRAWINGS AND IN PARTICULAR THE FIXINGS SCHEDULE AND STRUCTURAL SPECIFICATIONS PROVIDED. ANY AMBIGUITIES OR DISCREPANCIES BETWEEN THIS SPECIFICATION AND ANY OTHER PROJECT DOCUMENTS SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR CLARIFICATION.
- WHERE PROPRIETARY PRODUCTS ARE SPECIFIED, ALTERNATIVE MANUFACTURERS' PRODUCTS MAY BE USED SUBJECT TO DEMONSTRATION OF EQUAL PERFORMANCE AND DURABILITY.
- DO NOT SCALE FROM THIS DRAWING.
- ALL SIZES/DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- THIS DRAWING HAS BEEN PREPARED FOR THE PURPOSE OF OBTAINING A BUILDING WARRANT. THE DRAWING MAY BE SUITABLE FOR CONSTRUCTION PURPOSES, HOWEVER IT MAY BE NECESSARY TO AUGMENT OR AMEND THE INFORMATION FOR CONSTRUCTION PURPOSES. NO LIABILITY WILL BE ACCEPTED FOR ANY CONSTRUCTION WITHOUT REFERRAL TO CHRISTIE GILLESPIE CONSULTING ENGINEERS LTD.
- ONLY MATERIALS OR PRODUCTS WITH A CE MARK SHALL BE INCORPORATED INTO THE CONSTRUCTION. CHRISTIE GILLESPIE CONSULTING ENGINEERS TO BE INFORMED IF NO HARMONISED STANDARD EXISTS FOR ANY PROPOSED MATERIAL OR PRODUCT.
- REFER TO ARCHITECTS DRAWINGS FOR SETTING OUT, ALL INTERNAL AND EXTERNAL FINISHES TO ARCHITECTS SPECIFICATION.
- ALL STRUCTURAL ELEMENTS TO BE PROVIDED WITH MINIMUM 30 MINUTES FIRE PROTECTION IN ACCORDANCE WITH ARCHITECTS DETAILS & SPECIFICATIONS.

SITE PLAN (SCALE 1:500)



STATUS: PLANNING

REV	DETAILS	DATE	DRAWN	CHKD	APPRD

CLIENT: MR DUNCAN COLLIER

PROJECT: LAND 50m WEST OF GOATHILL QUARRY, EASTER BUCKLYVIE CROSSGATES, FIFE KY4 8EP

DRAWING TITLE: DWELLING HOUSE DRAINAGE PROPOSALS

DRG No	Rev	SCALE	DATE
2022-338-D001	-	AS NOTED	16/08/2022
DRAWN BY	CHECKED BY	APPROVED BY	
KDH	KDH	RG	

CHRISTIE GILLESPIE
 CONSULTING ENGINEERS LTD.

Suite 11, Stuart House, Eskmills Business Park, Musselburgh, EH21 7PB
 Telephone Number: 0131 285 6261
 www.christiegillespie.com

A1 SHEET SIZE



Appendix 1 - Sustainable Drainage Design Compliance Certificate

I certify that all the reasonable skill, care and attention to be expected of a qualified and competent professional in this field has been exercised in designing the sustainable drainage system for the below named development in accordance with CIRIA C753: The SuDS Manual 2015, the current edition of Sewers for Scotland and Fife Council's – Design Criteria Guidance Note on Flooding and Surface Water Management Plan Requirements.

ePlanning Reference No.... 100595127-001.....

Planning Application No. (completed by Fife Council Planning Service)

Roads Construction Consent No. (completed by Fife Council Planning Service)

Name of Development ...New Dwelling House, Land 50m West of Goathill Quarry, Easter Bucklyvie, Crossgates, FIFE KY4 8ES

Name of Developer ...Mr Duncan Collier

Name and Address of Designers Organisation...Christie Gillespie Consulting Engineers Ltd.....

... Suite 11, Stuart House, Eskmills Business Park, Musselburgh, EH21 7PB.....

Name of Designer...Kevin Hardie.....

Position Held...Principle Engineer.....

Engineering Qualifications ⁽²⁾ ... Eng Tech.....

Date16/08/2022.....

Drawing No's relative to this certificate
.....2022-338-D001.....

(2) Minimum Qualification - Incorporated Engineer or equivalent from an appropriate Engineering Institution.



Appendix 2 - Sustainable Drainage Design – Independent Check Certificate

I certify that all the reasonable skill, care and attention to be expected of a qualified and competent professional in this field has been exercised in the below named development with a view to securing that:

1. It has been designed in accordance with CIRIA C753: The SuDS Manual 2015, Current Edition of Sewers for Scotland, Fife Council – Design Criteria Guidance Note on Flooding and Surface Water Management Plan Requirements.
2. It shall be accurately translated into construction drawings and schedules.
3. I hereby confirm that I hold professional indemnity insurance for £5 million pounds.

ePlanning Reference No..... 100595127-001.....

Planning Application No. (completed by Fife Council Planning Service)

Roads Construction Consent No. (completed by Fife Council Planning Service)

Name of Development ... New Dwelling House, Land 50m West of Goathill Quarry, Easter Bucklyvie, Crossgates, FIFE KY4 8ES

Name of Developer ... Mr Duncan Collier

Name and Address of Checker's Organisation ... CGE Ltd

... Unit 8 Forth Industrial Estate, Fairykirk Road, Rosyth KY11 2QQ.....

Name of Checker...Richard Gillespie.....

Position Held...Director.....

Engineering Qualifications ⁽²⁾ ... B.Eng(Hons.) M.I.Struct.E C.Eng SER Certifier.....



Date16/08/2022.....

(2) Minimum Qualification - Incorporated Engineer or equivalent from an appropriate Engineering Institution.



Appendix 5 - Confirmation of future maintenance of Sustainable Drainage Apparatus

I hereby confirm that the future maintenance of the Sustainable Drainage Apparatus as detailed below and on the drawing numbered ...2022-338-D001 will be carried out in accordance with the attached maintenance schedule, by the undernoted organisation.

Planning Application No. (completed by Fife Council Planning Service) ...100595127-001.....

Roads Construction Consent No. (completed by Fife Council Planning Service) ...n/a.....

Name of Development ... New Dwelling House, Land 50m West of Goathill Quarry, Easter Bucklyvie, Crossgates, FIFE KY4 8ES

Name of Developer ... Mr Duncan Collier

Name and address of maintenance organisation (including contact telephone number and e-mail address)

..... Collier Haulage, Quarrying and Recycling

..... Goathill Quarry, Easter Bucklyvie, Cowdenbeath, Fife, KY4 8EP

.....

Telephone: ... 01383 510329 Email:... sales@collierhaulage.co.uk

Details of sustainable drainage apparatus to be maintained:

...SudS Existing Detention Pond and Klargester BioDisc BA-X

.....

.....

.....

Appendix 8 - Full Planning Application Checklist

Point	Description	Provided Y (Yes), N (No), N/A
3.0	Flood Risk Assessment.	N/A, site not at risk of flooding, see SEPA flood map attached
4.4.1	A drainage layout.	Y 2022-338-D001
4.4.2	Confirmation of discharge rate.	n/a Discharge to existing detention pond, pond has existing controlled discharge to water course, this will not be changed.
4.4.3	Calculations for any attenuation volume required.	n/a Existing Detention pond currently serves the development area that comprises of surfaced yard area.
4.4.4	Soakaway information (i.e. ground investigation, porosity test).	n/a No ground porosity. Trial pit records are shown on Drg. 2022-338-D001
4.4.5	Pre-development and post-development flow path diagrams.	Y Post development shown on Drg D001 Pre Development surfaced yard area, currently draining to existing drainage replicating proposed.
4.4.6	Confirmation of the SuDS treatment train.	Y See pollution mitigation index calculation
4.4.7	Assessment of the maximum groundwater level at the location of any underground attenuation features is applicable.	n/a no alteration to this aspect of drainage network
4.4.8	Written evidence of Scottish Water's approval of the surface water drainage connection into their network at the rate agreed with ScottishWater.	n/a no proposal to connect to Scottish Water Asset. Development in accordance with SEPA GBR10, registration of BioDisc is required.
4.4.9	Confirmation of who will adopt and maintain the surface water network, including any SuDS as per Appendix 5	N/A Network to remain private
4.4.10	A maintenance schedule for all proposed SuDS, to include a detailed list of activities and timescales.	Y Existing detention pond has ongoing maintenance schedule and is maintained by Collier Haulage, Quarrying and Recycling BioDisc will be emptied once per year, or as required.
4.4.11	Confirmation of Construction Status SuDS compliance.	Y Detention Pond/Klargester BioDisc are compliant forms of SuDS

4.4.12	Completed SuDS certification as per Appendices 1 and 2. <i>(For single dwelling, only Appendix 1 is required)</i>	Y Attached
------------------------	--	---------------

SEPA Flood Maps

Basic Map Viewer

ky 4 8es

Show search results for ky 4 8es



Flood Map Data

Layer List

Layers

- Flood Maps
- River Flooding
- High Likelihood
- Medium Likelihood
- Low Likelihood

Legend

Flood Maps

River Flooding

High Likelihood

Each year this area has a 10% chance of flooding.

Medium Likelihood

Each year this area has a 0.5% chance of flooding.

Low Likelihood

Each year this area has a 0.1% chance of flooding.

Crown copyright and database rights (202

SIMPLE INDEX APPROACH: TOOL



Water should not be liable for any of the following: not damage claims, loss, cost, expense or liability for anyone in a negligent use of the user's responsibility to use the tool, even when water has been released of the user's liability for damage. This tool is only intended for the user's use and not for any other purpose, including for any other use. The user is responsible for the use of the tool and not for any other purpose, including for any other use. The user is responsible for the use of the tool and not for any other purpose, including for any other use. The user is responsible for the use of the tool and not for any other purpose, including for any other use.

- The steps set out in the tool should be applied for each inflow or runoff area (for each impermeable surface area separately discharging to a SuDS component).
- The support guidance contained in the tool must be fully considered and implemented in all cases.
- Relevant design examples are included in the SuDS Manual Appendix C.
- Each of the steps below are part of the process set out in the flowchart on Sheet 1.

Sheet 4 summarises the selections made below and indicates the acceptability of the proposed SuDS components.

DROP DOWN LIS RELEVANT INPUTS NEED TO BE SELECTED FROM THESE LISTS, FOR EACH STEP

USER ENTRY USER ENTRY CELLS ARE ONLY REQUIRED WHERE INDICATED BY THE TOOL

5 EP 1: Determine the Pollution Hazard Index for the runoff area discharging to the proposed SuDS component

This step requires the user to select the appropriate and use type for the area from which the runoff is occurring

This step uses the following table:

Use the tool user type (HT, BT, LT, ST) to select a hazard index value:

Copy the table into the tool. For each use type, select the appropriate hazard index value from the table. For each use type, select the appropriate hazard index value from the table. For each use type, select the appropriate hazard index value from the table.

Use the user type suggested in the tool to select the appropriate hazard index value from the table. For each use type, select the appropriate hazard index value from the table. For each use type, select the appropriate hazard index value from the table.

Runoff Area Land Use Description	HT	BT	LT	ST
Residential on 1G	0.2	0.2	0.2	0.2

Runoff Area Land Use Description	HT	BT	LT	ST
Residential on 1G	0.2	0.2	0.2	0.2

Runoff Area Land Use Description	HT	BT	LT	ST
Residential on 1G	0.2	0.2	0.2	0.2

5 EP 2A: Determine the Pollution Mitigation Index for the proposed SuDS components

This step requires the user to select the proposed SuDS component that will be used to treat runoff before it is discharged to a receiving surface water body or drains near infiltration component

If the runoff is discharged directly to an infiltration component without upstream treatment select None for each of the 3 SuDS components and move to Step 5B

This step uses the following table:

Use the tool user type (HT, BT, LT, ST) to select a mitigation index value:

Copy the table into the tool. For each use type, select the appropriate mitigation index value from the table. For each use type, select the appropriate mitigation index value from the table. For each use type, select the appropriate mitigation index value from the table.

Use the user type suggested in the tool to select the appropriate mitigation index value from the table. For each use type, select the appropriate mitigation index value from the table. For each use type, select the appropriate mitigation index value from the table.

SuDS Component Description	HT	BT	LT	ST
None	0.5	0.5	0.5	0.5

SuDS Component Description	HT	BT	LT	ST
None	0.5	0.5	0.5	0.5

SuDS Component Description	HT	BT	LT	ST
None	0.5	0.5	0.5	0.5

Is the runoff now discharged to an infiltration component?

Yes? [Go to Step 5B](#)
No? [Go to Step 5C](#)

5 EP 2B: Determine the Pollution Mitigation Index for the proposed Groundwater Protection

This step requires the user to select the type of groundwater protection that is either part of the SuDS component or that lies between the component and the groundwater

This step uses the following table:

Use the tool user type (HT, BT, LT, ST) to select a groundwater protection index value:

Copy the table into the tool. For each use type, select the appropriate groundwater protection index value from the table. For each use type, select the appropriate groundwater protection index value from the table. For each use type, select the appropriate groundwater protection index value from the table.

Use the user type suggested in the tool to select the appropriate groundwater protection index value from the table. For each use type, select the appropriate groundwater protection index value from the table. For each use type, select the appropriate groundwater protection index value from the table.

Groundwater Protection Description	HT	BT	LT	ST
None	0	0	0	0

Groundwater Protection Description	HT	BT	LT	ST
None	0	0	0	0

Groundwater Protection Description	HT	BT	LT	ST
None	0	0	0	0

5 EP 2C: Determine the Combined Pollution Mitigation Indices for the Runoff Area

This is an automatic step which combines the proposed SuDS Pollution Mitigation Indices with any Groundwater Protection Pollution Mitigation Indices

Combined Pollution Mitigation Indices for the Runoff Area

Combined Pollution Mitigation Indices for the Runoff Area	HT	BT	LT	ST
Combined Pollution Mitigation Indices for the Runoff Area	0.5	0.5	0.5	0.5

5 EP 2D: Determine Sufficiency of Pollution Mitigation Indices for Selected SuDS Components

This is an automatic step which compares the Combined Pollution Mitigation Indices with the Land Use Hazard indices to determine whether the proposed components are sufficient to manage each pollutant category type

This step uses the following table:

Use the tool user type (HT, BT, LT, ST) to select a sufficiency index value:

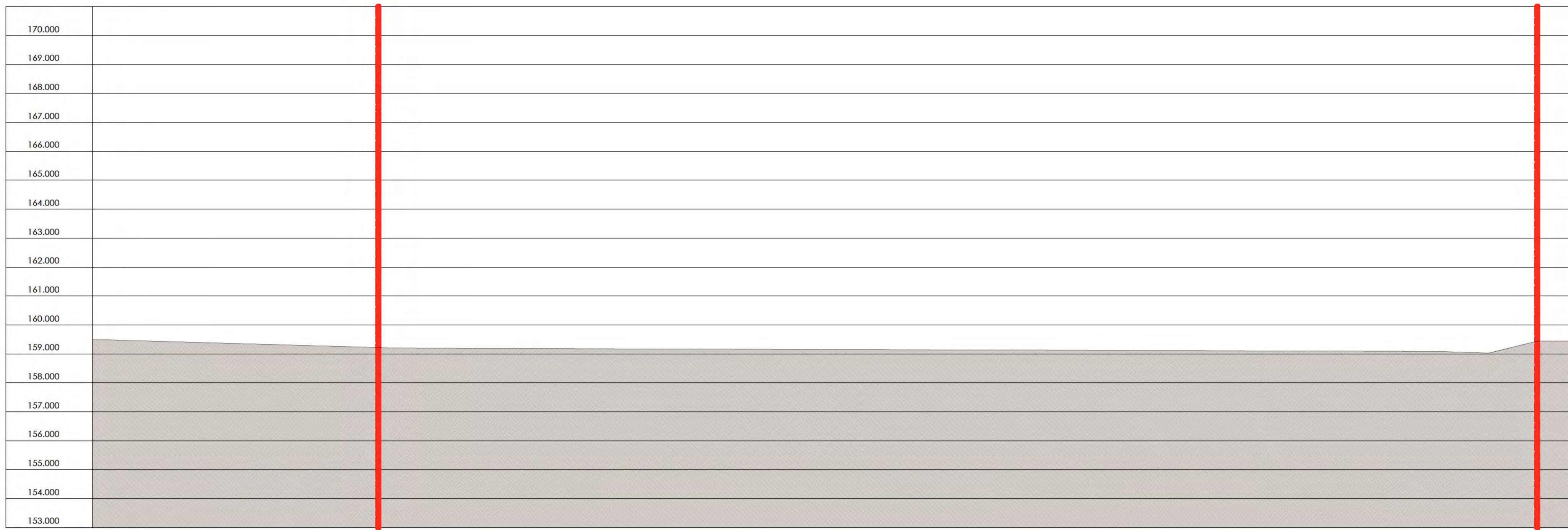
Copy the table into the tool. For each use type, select the appropriate sufficiency index value from the table. For each use type, select the appropriate sufficiency index value from the table. For each use type, select the appropriate sufficiency index value from the table.

Use the user type suggested in the tool to select the appropriate sufficiency index value from the table. For each use type, select the appropriate sufficiency index value from the table. For each use type, select the appropriate sufficiency index value from the table.

Sufficiency Index	HT	BT	LT	ST
Sufficiency Index	0	0	0	0

Sufficiency Index	HT	BT	LT	ST
Sufficiency Index	0	0	0	0

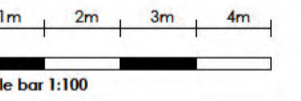
Sufficiency Index	HT	BT	LT	ST
Sufficiency Index	0	0	0	0



Existing Site Section A - A
Scale 1:100



Existing Site Section B - B
Scale 1:100



This drawing has been prepared to obtain statutory Local Authority Consent. All sizes to be confirmed on site prior to commencing work.
 w: www.andrewwallanarchitecture.com
 e: info@andrewwallanarchitecture.com
 t: 01383 730500

Rev	Details	Date

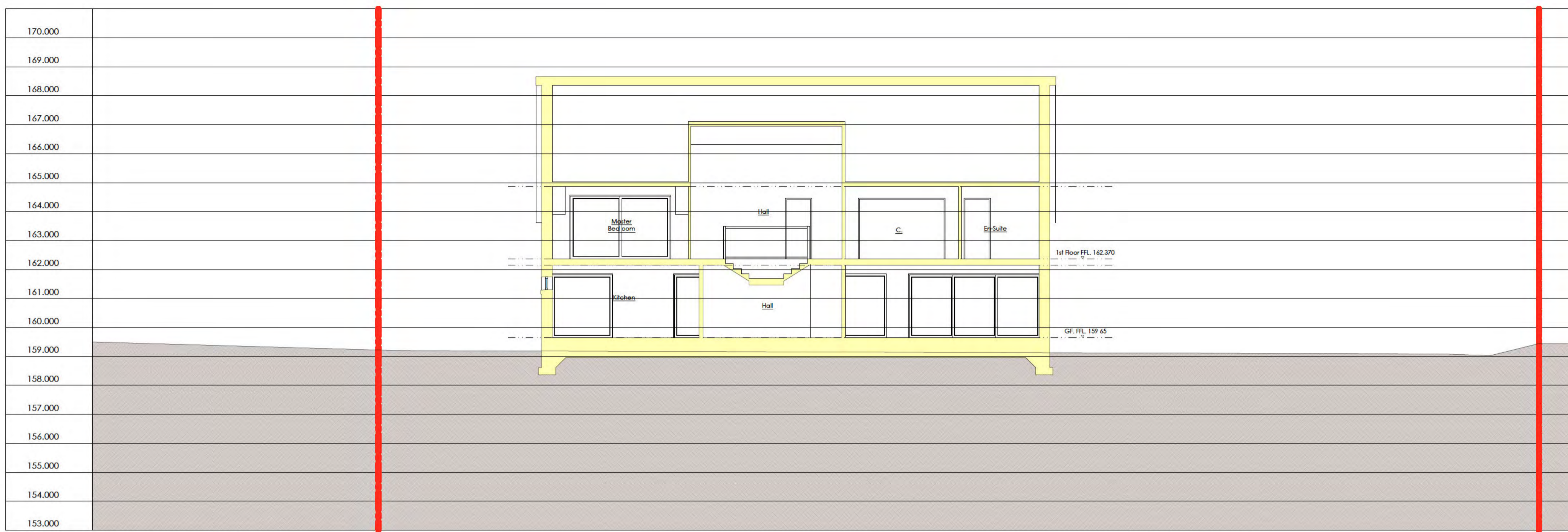
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DATE: May '22	PROJECT NO.: 21/0030
TECHNICIAN: NR	SCALE(S): 1:100 at A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1

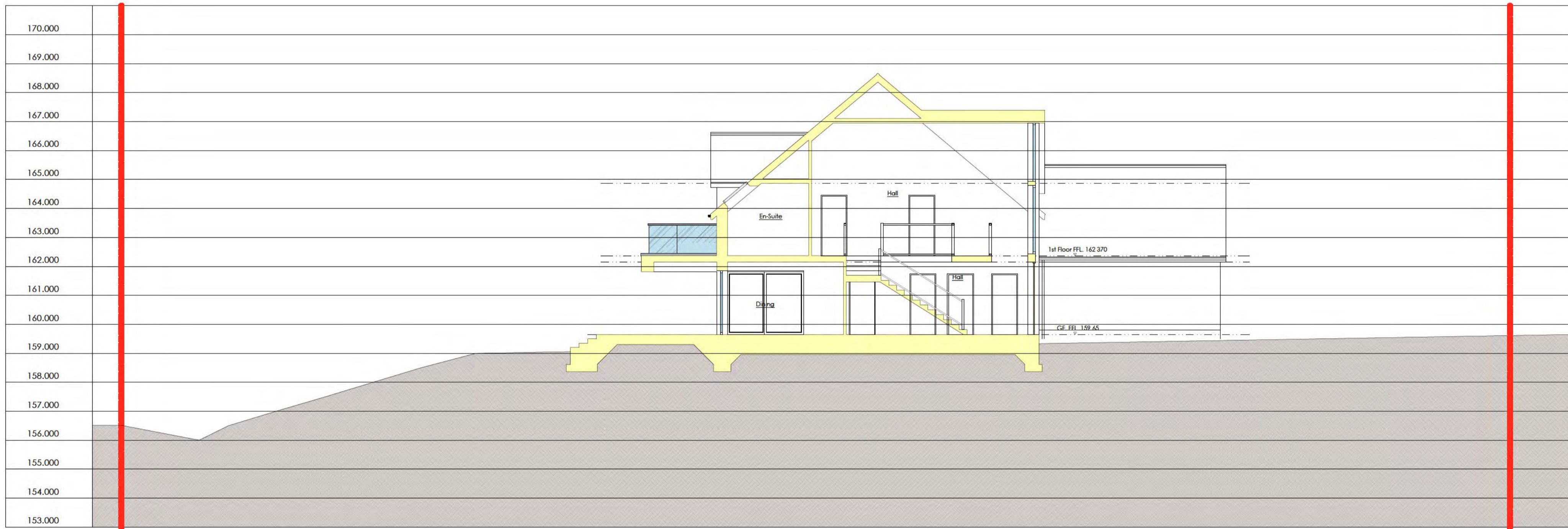
PROJECT:
Proposed Erection of New Dwellinghouse.

ADDRESS:
Mr Collier
Coalhill Quarry, Easter Bucklyvie
Crosdenbreath
KY4 8ES

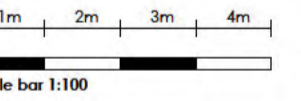
DRAWING NUMBER
548



Proposed Site Section A - A
Scale 1:100



Proposed Site Section B - B
Scale 1:100



Scale bar 1:100

This drawing has been prepared to obtain statutory Local Authority Consent. All sizes to be confirmed on site prior to commencing work.
 w: www.andrewwallanarchitecture.com
 e: info@andrewwallanarchitecture.com
 t: 01383 730500

Rev	Details	Date

..Projects - NR\image001.jpg

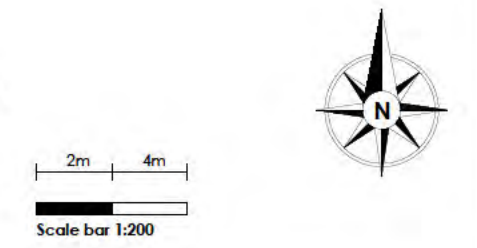
DATE: May '22	PROJECT NO: 21/0030
TECHNICIAN: NR	SCALE(S): 1:100 at A1
ISSUE STAGE: Planning Stage	SHEET SIZE: A1

PROJECT:
Proposed Erection of New Dwellinghouse.

ADDRESS:
Mr Collier
Coombe Quarry, Easter Buckley
Cresden Heath
K14 8ES

DRAWING NUMBER

449



Proposed Landscape Plan
Scale 1:200

Rev	Details	Date

..\\Projects - NR\\image001.jpg

DATE: May '22	PROJECT NO: 21/0030
TECHNICIAN: NR	SCALE(S): 1:200 at A3
ISSUE STAGE: Planning Stage	SHEET SIZE: A3

PROJECT:
Proposed Erection of New Dwelling

ADDRESS: Mr Collier Goathill Quarry Easter Buckleyvie Cowdenbeath KY4 8ES	DRAWING NUMBER 650
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This drawing has been prepared to obtain statutory Local Authority Consent. All sizes to be confirmed on site prior to commencing work.
w: www.andrewallanarchitecture.com e: info@andrewallanarchitecture.com t: 01383 730500

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
<p><u>Energy and Climate Change</u> Demonstrate that the application meets the CO² emissions reduction targets currently in place and that the required proportion of that reduction is met by low and zero carbon generation technologies.</p> <p>Improve the energy efficiency of both domestic and non-domestic buildings to minimise total whole-life energy consumption.</p> <p>Support the use of renewable energy rather than fossil fuel sources during concept/design as well as in-service phases with the ultimate aim of decarbonising the energy and heat supply. Improve resilience to climate change, including higher temperatures; changing patterns of precipitation; more frequent extreme weather events; rising sea levels. Impacts on flooding and water supply are addressed.</p>	<p>For Local Developments - Provide information of the energy efficiency measures taken and energy generating technologies associated with this application</p> <p>For Major Developments - An energy statement on intention is required. See Low Carbon Fife Supplementary Guidance page 59 for more information</p>	<p>Domestic Applications Proposals which are not heated or cooled (other than heating or frost protection).</p> <p>Conversion of buildings</p> <p>Small extensions in line with Building standards 6.1 exemptions</p> <p>Temporary buildings with an intended life of less than 2 years</p>	<input checked="" type="checkbox"/> Details: The energy efficiency measures taken and energy generating technologies associated with this application are: <ul style="list-style-type: none"> • Air Source Heat Pumps installed in the new dwelling • No use of gas boiler heating
<p><u>Materials</u> Materials sourced from local or sustainable sources</p>	<p>A statement should be included setting out that the development will endeavour to provide the materials from local or sustainable sources. Additional detail should be included if available. See Making Fife's Places Supplementary Guidance page 37 for more information.</p>	<p>Domestic Applications</p>	<input checked="" type="checkbox"/> Details: The development will use local materials (Collier has a wide network of suppliers in West Fife)

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
<p><u>Sustainable Urban Drainage System (SUDS)</u> As our climate changes and more rainfall is predicted in many parts of the world, it is important that we control the impact of rainwater to prevent flooding or pollution of watercourses. Sustainable Urban Drainage measures need to be put in place to ensure that there will be no increase in the rate of surface water run-off in peak conditions or detrimental impact on the ecological quality of the water environment.</p>	<p>We require Compliance and Independent Check Certificate's to be submitted as per Fife Council's Sustainable Drainage Systems (SUDS) - Design Criteria Guidance Note</p> <p>See Making Fife's Places Supplementary Guidance page 14 for more information.</p>	<p>Domestic Applications</p> <p>Applications for erection of only one dwellinghouse</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: The information has previously been submitted with this planning application including completed certification</p>
<p><u>Waste</u></p> <p>Support applications that reduce the creation of waste. Facilities are provided for the separate collection of dry and recyclable waste and food waste. Drive the development of a plastic recycling facility</p>	<p>Planning Permission in Principle (PPP) Applications – A statement setting out that measures for the storage of dry recyclable waste and food waste will be provided as part of the development.</p> <p>Full Planning Permission Applications – Full details on how dry and recyclable waste and food waste will be stored.</p>	<p>Domestic Applications</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: As a single dwelling, kerbside recycling bins will be located at the home and transported to the road side on collection day</p>

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
<p><u>Travel and Transport</u></p> <p>Developments make a positive contribution towards the improvement of sustainable transport network.</p> <p>Promoting sustainable transport modes in the following order of priority: walking, cycling, public transport, cars.</p> <p>Reducing car dependency.</p> <p>Minimising the amount of travelling required, thus reducing greenhouse gas emissions, especially for air and road travel</p>	<p>PPP Applications – A statement should be included setting out the intended measures to encourage and facilitate the use of sustainable transport focusing on the order of priority.</p> <p>Full Planning Permission Applications – Full details on how the development encourages and facilitates the use of sustainable transport focusing on the order of priority. (Demonstrated through a Transport Assessment or Green Travel Plan).</p>	<p>Domestic Applications</p>	<p style="text-align: center;"><input checked="" type="checkbox"/></p> <p>Details: Whilst the development is for a key worker at Goatmill Quarry some walking distance hence. The applicant uses heavy duty vehicle to travel into the working site as this is fit for the operational purpose</p>
<p><u>Air Quality</u></p> <p>Address impacts on air quality by reducing congestion and address the poor air quality that already exists.</p>	<p>An Air Quality Impact Assessment is required where any of the following apply:</p> <ul style="list-style-type: none"> • For all applications subject to an Environmental Impact Assessment (listed in Environmental Impact Assessment (Scotland) Regulations 2017) or • 10 or more residential units or a site area of more than 0.5ha • More than 1,000m² of floor space for all other uses or a site area greater than 1ha <p>Coupled with any of the following:</p> <ul style="list-style-type: none"> • The development has more than 10 parking spaces • The development will have a centralised energy facility or other centralised combustion process <p>See Low Carbon Fife Supplementary Guidance Appendix D for more information</p>	<p>Domestic Applications</p> <p>Less than 10 residential units or a site area of less than 0.5ha</p> <p>Less than 1,000m² of floor space for all other uses or a site area smaller than 1ha</p>	<p style="text-align: center;"><input type="checkbox"/></p> <p>Details: exempt</p>

Low Carbon Sustainability Checklist for Planning Applications

Issue Overview and Aim	Validation Requirement	Exemption	Information Submitted with Applications √
<p><u>District Heating</u></p> <p>All applications which create a heat demand or waste heat will be assessed to establish if district heating is likely to be a viable option. All applications for proposals which fit this description need to be tested against the district heating process map set out in section 3.2.2 of the Low Carbon Fife Supplementary Guidance (see page 64) - to establish if a further investigation into heat networks is required. To reduce the cost of heat supply and the carbon intensity of heat generation.</p>	<p>Depending on answers to the questions below will determine whether a further investigation is required</p> <p><i>Is the proposal within 1km of an existing or proposed heat network? (See Low Carbon Fife SG Appendix E for more information) If yes – has an indicative heat demand been provided for the development?</i></p> <p><i>Is further investigation into heat networks required? If yes - has a further investigation into heat networks been provided?</i></p> <p><i>Is the proposal for one of the following types of development?</i></p> <ul style="list-style-type: none"> • A public sector development; • A further education campus; • A proposal for over 10,000m² non-domestic development with an anchor customer (anchor customers include swimming pools, hospitals, aqua-culture and industrial units or building with a significant and heat demand) • A mixed use development – with at least 50 residential units and at least 10,000m² of buildings with the following uses, education, community and leisure, retail, healthcare, manufacturing/industrial <p><i>If yes – has information on the linear heat density of the development been provided? (see Low Carbon Fife SG section 3.2.2 for more information) Is the linear heat density 4 or over? (see Low Carbon Fife SG section 3.2.3 for more information) If yes – has further investigation into heat networks been provided?</i></p>	<p>Domestic Applications</p> <p>Applications out-with 1km of existing or proposed heat network and is not one of the following developments:</p> <ul style="list-style-type: none"> • A public sector development; • A further education campus; • A proposal for over 10,000m² non-domestic development with an anchor customer (anchor customers include swimming pools, hospitals, aqua-culture and industrial units or indeed any other building with a significant and stable heat demand) • A mixed use development – with at least 50 residential units and at least 10,000m² of buildings with the following uses, education, community and leisure, retail, healthcare, manufacturing/industrial <p>And does not have a total aggregate thermal input exceeding 20Megawatts</p>	<p>☒</p> <p>Details: exempt</p>

PLANNING APPEAL TO LOCAL REVIEW BODY – ONLINE REFERENCE 100616551-001
ERECTION OF DWELLINGHOUSE WITH ASSOCIATED ACCESS AND HARDSTANDING
GOATHILL QUARRY, EASTER BUCKLYVIE, CROSSGATES, COWDENBEATH FIFE
(PLANNING REF: 22/03593/FULL)

LIST OF DOCUMENTS FOR APPEAL

The following documents are relied upon to support the appeal case:

Please note other documents such as Local Development Plan, Supplementary Planning Guidance, Advice Notes, NPF4 and Scottish Government policy and guidance are not reproduced. We have assumed, at this stage, Fife Council can provide these if necessary.

Appeal Document GP01 – Decision Notice Application Ref: 22/03593/FULL dated 13.04.23

Appeal Document GP02 – Report of Handling of Planning Application 22/03593/FULL

Appeal Document GP03 – Planning Statement - Collier Goathill Quarry Manager House -160822

Appeal Document GP04 - APPROVED_OVERALL_INDICATIVE_RESTORATION_PLAN (2007 Quarrying Planning Consent masterplan)

Full Planning application drawings and sections, application form, landowner certification all as submitted for planning approval 22/03593/FULL.

Proposal Details

Proposal Name	100595127
Proposal Description	ERECTION OF A SINGLE DWELLING (QUARRY MANAGERS HOME), WITH ASSOCIATED ACCESS AND PARKING
Address	GOATHILL QUARRY, EASTER BUCKLYVIE, DONIBRISTLE, CROSSGATES, COWDENBEATH
Local Authority	Fife Council
Application Online Reference	100595127-005

Application Status

Form	complete
Main Details	complete
Checklist	complete
Declaration	complete
Supporting Documentation	complete
Email Notification	complete

Attachment Details

Notice of Review	System	A4
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-1 Proposed Floor Plans	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-2 Proposed Elevations	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-3 Proposed Topo Site Plan	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-4 Proposed Site Sections	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-5 Existing Site Sections	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-6 Proposed Landscape Plan	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-LP1a Location Plan	Attached	A1
21-0030 - Collier - Goathill Quarry Easter Bucklyvie Cowdenbeath - PP-SP1a Location Plan	Attached	A1
2022-338-D001	Attached	A1
BioDisc information	Attached	A1
Effluent Quality Certificate PIA Kingspan BioDisc	Attached	A1
Fife Council Compliance Certificates	Attached	A4
Location Plan 1_2500	Attached	A3
Low Carbon Checklist	Attached	A4

SEPA Flood Maps	Attached	A4
SIA Pollution mitigation indices	Attached	A4
Doc GP01 Decision Notice 22_03593_FULL_	Attached	A4
Doc GP02 Report of Handling 22_03593_FULL	Attached	A4
Doc GP03 Planning Statement - Collier Goathill Quarry Manager House -160822	Attached	A4
Doc GP04	Attached	A3
APPROVED_OVERALL_INDICATIVE_RESTORATION_PLAN		
Grounds for Review Statement Goathill Quarry 300523	Attached	A4
List of Appeal Documents at 300523	Attached	A4
Local Review Body Cover Letter 300523	Attached	A4
Notice_of_Review-2.pdf	Attached	A0
Application_Summary.pdf	Attached	A0
Notice of Review-005.xml	Attached	A0

Agenda Item 7(4)

**Goathill Quarry, Easter Bucklyvie, Crossgates,
Cowdenbeath**

Application No. 22/03593/FULL

Consultee Comments

MEMORANDUM

TO: Martin McGroarty, Lead Professional, Major Business & Customer Service

FROM: Eloise Griffin, Technical Officer, Land & Air Quality

DATE: 14 December 2022

OUR REF: PC220256

YOUR REF: 22/03593/FULL

SUBJECT: Erection of dwellinghouse and associated access at Goathill Quarry, Easter Bucklyvie, Crossgates, Cowdenbeath

Thank you for your consultation on the above application. After reviewing the available information, I would provide the following:

Land Quality - A suspensive planning condition for contaminated land is recommended.

The proposed property is located within the boundary of an operational industrial site (quarry), it is therefore advised that Development Management be notified in the event that any unexpected materials or conditions (such as asbestos, hydrocarbon staining, made-ground, gassing, odours or other apparent contamination) are encountered during the development process. In such an instance, work should stop and a suitable site-specific risk assessment for contaminated land be undertaken, see www.fife.gov.uk/contaminatedland.

Should Development Management approve an application for the site, it is advised that the contaminated land condition LQC3 (attached) be utilised to ensure the site would be developed in accordance with the relevant technical guidance including PAN 33.

Please note that we are not qualified to comment on geotechnical matters relating to ground stability or foundation design. Should you require any further information or clarification regarding the above comments, please do not hesitate to contact this office.

Regards
EG, Technical Officer
Enc. Model Conditions

Model Planning Conditions for Land Quality

LQC1

NO DEVELOPMENT SHALL COMMENCE ON SITE until the risk of actual or potential land contamination at the site has been investigated and a Preliminary Risk Assessment (Phase I Desk Study) has been submitted by the developer to and approved in writing by the local planning authority. Where further investigation is recommended in the Preliminary Risk Assessment, no development shall commence until a suitable Intrusive Investigation (Phase II Investigation Report) has been submitted by the developer to and approved in writing by the local planning authority. Where remedial action is recommended in the Phase II Intrusive Investigation Report, no development shall commence until a suitable Remedial Action Statement has been submitted by the developer to and approved in writing by the local planning authority. The Remedial Action Statement shall include a timetable for the implementation and completion of the approved remedial measures and a Verification Plan specifying how, when and by whom the installation will be inspected.

All land contamination reports shall be prepared in accordance with CLR 11, PAN 33 and the Council's Advice for Developing Brownfield Sites in Fife documents or any subsequent revisions of those documents. Additional information can be found at www.fife.gov.uk/contaminatedland.

Reason: To ensure potential risk arising from previous land uses has been investigated and any requirement for remedial actions is suitably addressed.

LQC2

NO BUILDING SHALL BE OCCUPIED UNTIL remedial action at the site has been completed in accordance with the Remedial Action Statement approved pursuant to condition. In the event that remedial action is unable to proceed in accordance with the approved Remedial Action Statement — or contamination not previously considered in either the Preliminary Risk Assessment or the Intrusive Investigation Report is identified or encountered on site — all work on site (save for site investigation work) shall cease immediately and the local planning authority shall be notified in writing within 2 working days. Unless otherwise agreed in writing with the local planning authority, development works shall not recommence until proposed revisions to the Remedial Action Statement have been submitted by the developer to and approved in writing by the local planning authority. Remedial action at the site shall thereafter be completed in accordance with the approved revised Remedial Action Statement. Following completion of any measures identified in the approved Remedial Action Statement — or any approved revised Remedial Action Statement — a Verification Report shall be submitted by the developer to the local planning authority.

Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remedial measures for the whole site have been completed in accordance with the approved Remedial Action Statement — or the approved revised Remedial Action Statement — and a Verification Report in respect of those remedial measures has been submitted to and approved in writing by the local planning authority.

Reason: To provide satisfactory verification that remedial action has been completed to the planning authority's satisfaction.

LQC3

IN THE EVENT THAT CONTAMINATION IS ENCOUNTERED that was not identified by the developer prior to the grant of this planning permission, all development works on site (save for site investigation works) shall cease immediately and the local planning authority shall be notified in writing within 2 working days.

Unless otherwise agreed in writing with the local planning authority, development work on site shall not recommence until either (a) a Remedial Action Statement has been submitted by the developer to and approved in writing by the local planning authority or (b) the local planning authority has confirmed in writing that remedial measures are not required. The Remedial Action Statement shall include a timetable for the implementation and completion of the approved remedial measures. Thereafter remedial action at the site shall be completed in accordance with the approved Remedial Action Statement. Following completion of any measures identified in the approved Remedial Action Statement, a Verification Report shall be submitted to the local planning authority. Unless otherwise agreed in writing with the local planning authority, no part of the site shall be brought into use until such time as the remedial measures for the whole site have been completed in accordance with the approved Remedial Action Statement and a Verification Report in respect of those remedial measures has been submitted by the developer to and approved in writing by the local planning authority.

FIFE COUNCIL

ROADS AND TRANSPORTATION SERVICES

TO: Planner, Development Management
FROM: Denise Richmond, Structural Services, Flooding, Shoreline & Harbours
DATE: 15 December 2022
OUR REF: DR/22/03593/FULL
YOUR REF: **22/03593/FULL**
CONTACT: Denise Richmond Ext 477003
SUBJECT: **Erection of dwellinghouse with associated access and hardstanding.
Goathill Quarry, Easter Bucklyvie, Crossgates, KY4 8ES.**

No Objections to Flood Risk or Surface Water Management Proposals.

I refer to your memo dated 9 December 2022 requesting observations on the application forms and associated plans for the above proposed development and comment only on matters relating to flooding and surface water management.

Usually the design certificate (Appendix 1) must be signed by an individual who is a minimum of Incorporated Engineer and member of an appropriate Professional body. In Applications for single dwellings the independent check certificate is not usually asked for. Since the independent check was carried out by a Chartered Engineer and the design is comprehensive, we have no further comments to make on this Application.

Our updated guidance on Flooding and Surface Water Management is available to download:

https://www.fife.gov.uk/_data/assets/pdf_file/0012/160122/FC-Flooding-and-SWMP-Guidance-v2.1.pdf

Planning Portfolio Internal Assessment Sheet

EPES Team	Transportation Development Management
Application Ref Number:	22/03593/FULL
	Erection of Dwellinghouse with Associated Access and Hardstanding at Goathill Quarry, Easter Bucklyvie
Date:	9th January 2023
Reason for assessment request/consultation	<input type="checkbox"/> Statutory <input checked="" type="checkbox"/> Non-statutory
Consultation Summary	FILE:

Important Note

This is an internal planning assessment response provided from within Planning Services. It forms part of the overall assessment to be carried out by staff on behalf of Fife Council as Planning Authority. The internal assessment is a material consideration in the determination of the application but it requires to be read in conjunction with all the other relevant policies and strategies set out in the development plan, together with any other relevant and related material considerations. It should not be read in isolation or quoted out of this context. The complete assessment on the proposal will be made by the Planning Case officer in due course. The assessment will not be made publicly available until the case officer has completed the overall planning assessment.

Assessment Summary

1.0 OVERALL ASSESSMENT

- 1.1 This application is for the erection of a new dwellinghouse which would be served by an existing vehicular access driveway that already serves the agricultural shed adjacent to the application site.
- 1.2 A planning application for a dwelling on this site was previously submitted under reference 16/00319/FULL and that application was subsequently refused by the case officer and this refusal was upheld at Fife Council Local Review Body.
- 1.3 Transportation Development Management has a presumption against the formation of new vehicular accesses or the intensification in use of existing accesses on unrestricted distributor roads outwith established built-up areas. For clarification purposes, the built-up area, from a transportation point of

view, is defined as the area within a 20, 30 or 40mph speed limit. The reason for this policy is that such vehicular accesses introduce, or increase, traffic turning manoeuvres which conflict with through traffic movements and so increase the probability of accidents occurring, to the detriment of road safety.

The above policy can be relaxed if a proposed rural development has agricultural justification; promotes tourism or saves a building, such as a steading, deemed worthy of retention by Development Management. This relaxation is only possible when either the junction of the access to the site and the public road has acceptable visibility splays or if the proposals include acceptable improvements being undertaken to existing sub-standard visibility splays.

1.4 The junction of the main vehicular access to the quarry and the B925 already has the provision of visibility splays well in excess of the 3m x 210m splays required for the proposed house, in accordance with the current Fife Council Making Fifes Places Appendix G.

1.5 Drawing Number SP1 shows that the dwelling would have a driveway capable of accommodating numerous vehicles, therefore, I do not intend to request the imposition of a parking condition in this instance.

2.0 CONCLUSIONS

2.1 Based on the premise that the case officer views the proposal as being compliant with the relevant FIFEPlan policies, TDM have no objections to approval being granted.

Important note

The above internal planning assessment response has been prepared at officer level within the Planning Service team responsible for the specific topic area. It is an assessment of the specific issue being consulted upon but it is important to remember that the response cannot be considered in isolation and outwith the overall assessment of the proposal under consideration. Fife Council as Planning Authority, in considering all the material considerations in an individual application can legitimately give a different weighting to the individual strands of the assessment, including consultation responses and the final assessment is based on a comprehensive and balanced consideration of all the aspects under consideration.

Author: Andy Forrester, Technician Engineer, Transportation Development Management

Date: 09/01/2023

E-mail: andy.forrester@fife.gov.uk

Number: 03451 55555 extension 480211

Wednesday, 14 December 2022



Local Planner
Fife House
North Street
Glenrothes
KY7 5LT

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Steps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk



Dear Customer,

Goathill Quarry Easter, Bucklyvie Crossgates, Cowdenbeath, KY4 8ES
Planning Ref: 21/03593/FULL
Our Ref: DSCAS-0077886-JWD
Proposal: 22/03593/FULL | Erection of dwellinghouse with associated access and hardstanding | Goathill Quarry Easter Bucklyvie Crossgates Cowdenbeath Fife KY4 8ES

Please quote our reference in all future correspondence

Audit of Proposal

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced. Please read the following carefully as there may be further action required. Scottish Water would advise the following:

Water Capacity Assessment

Scottish Water has carried out a Capacity review and we can confirm the following:

- ▶ There is currently sufficient capacity in the Glendevon Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.
- ▶ Please note the nearest public water main is 250meters north of your site on the opposite side of the B925

Waste Water Capacity Assessment

- ▶ Unfortunately, according to our records there is no public Scottish Water, Waste Water infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private treatment options.

Please Note

- ▶ The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- ▶ Scottish Water asset plans can be obtained from our appointed asset plan providers:
 - ▶ Site Investigation Services (UK) Ltd
 - ▶ Tel: 0333 123 1223
 - ▶ Email: sw@sisplan.co.uk
 - ▶ www.sisplan.co.uk
- ▶ Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Customer Connections department at the above address.
- ▶ If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- ▶ Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.

- ▶ The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.
 - ▶ Please find information on how to submit application to Scottish Water at [our Customer Portal](#).
-

Next Steps:

▶ All Proposed Developments

All proposed developments require to submit a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water via [our Customer Portal](#) prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

▶ Non Domestic/Commercial Property:

Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

▶ Trade Effluent Discharge from Non-Domestic Property:

Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and laundrettes. Activities not covered include hotels, caravan sites or restaurants.

- ▶ If you are in any doubt as to whether the discharge from your premises is likely to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject "Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found [here](#).
- ▶ Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.
- ▶ For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas, so the development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.

- ▶ The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below or at planningconsultations@scottishwater.co.uk.

Yours sincerely,

Ruth Kerr
Development Services Analyst
PlanningConsultations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."